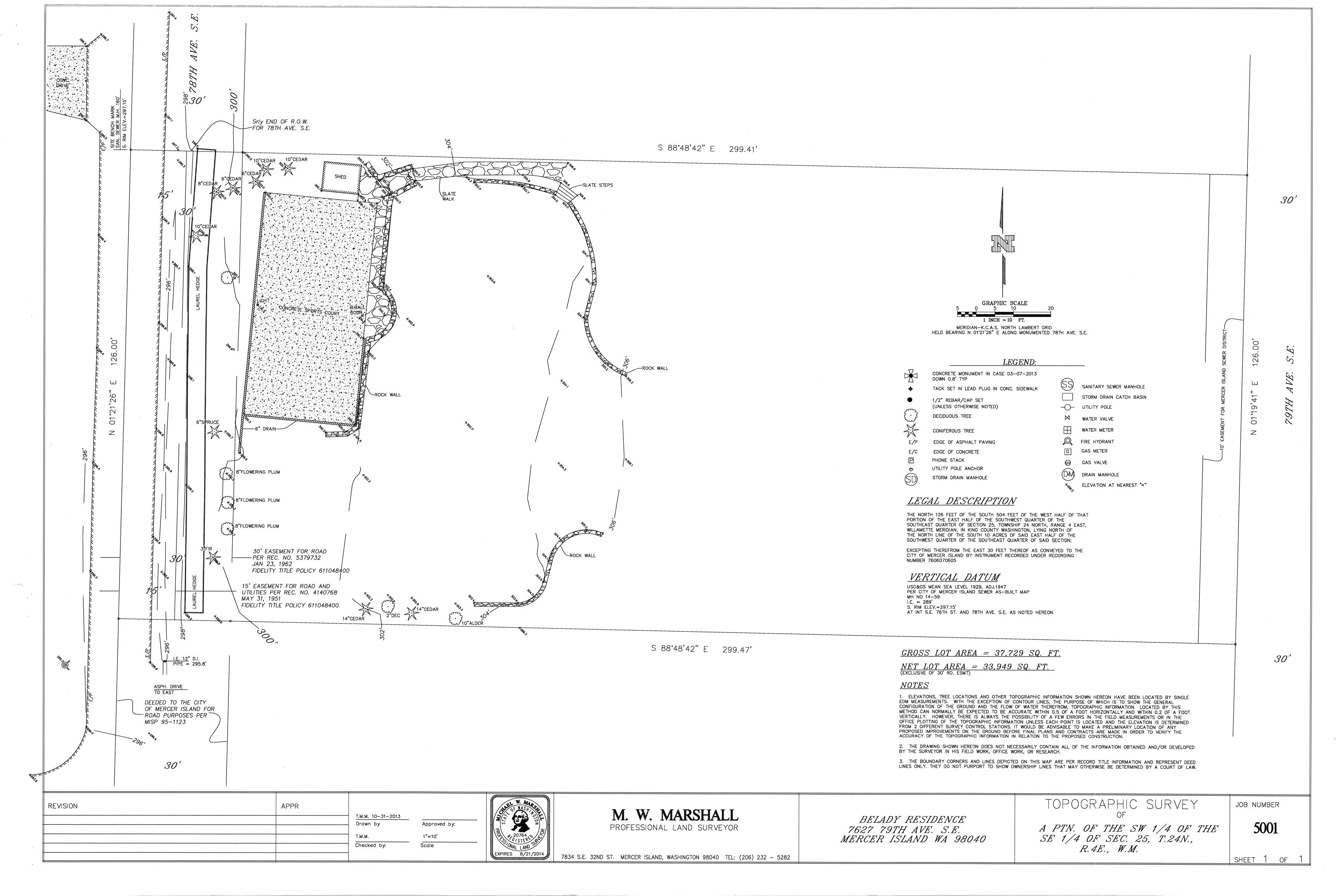
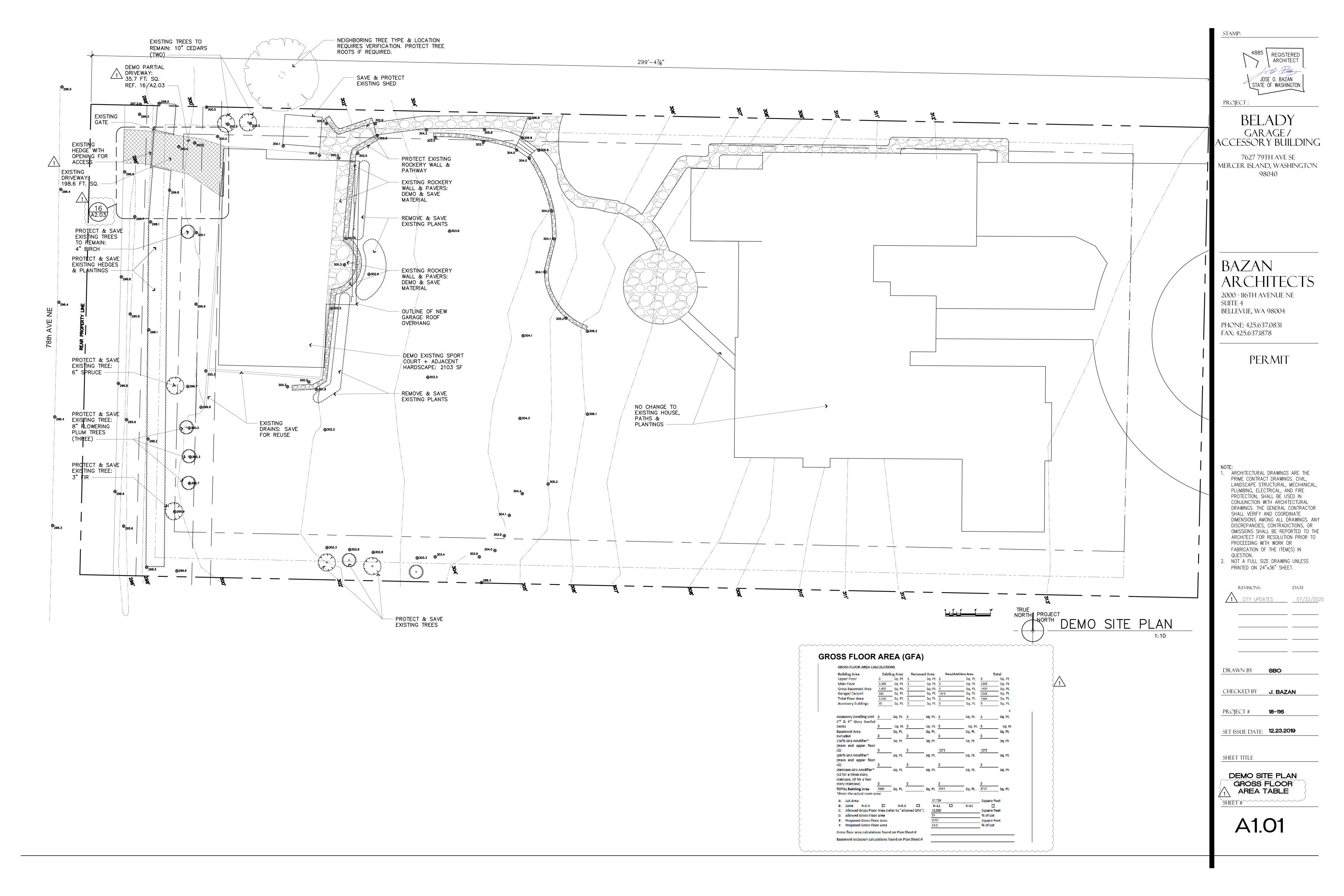
## BELADY GARAGE

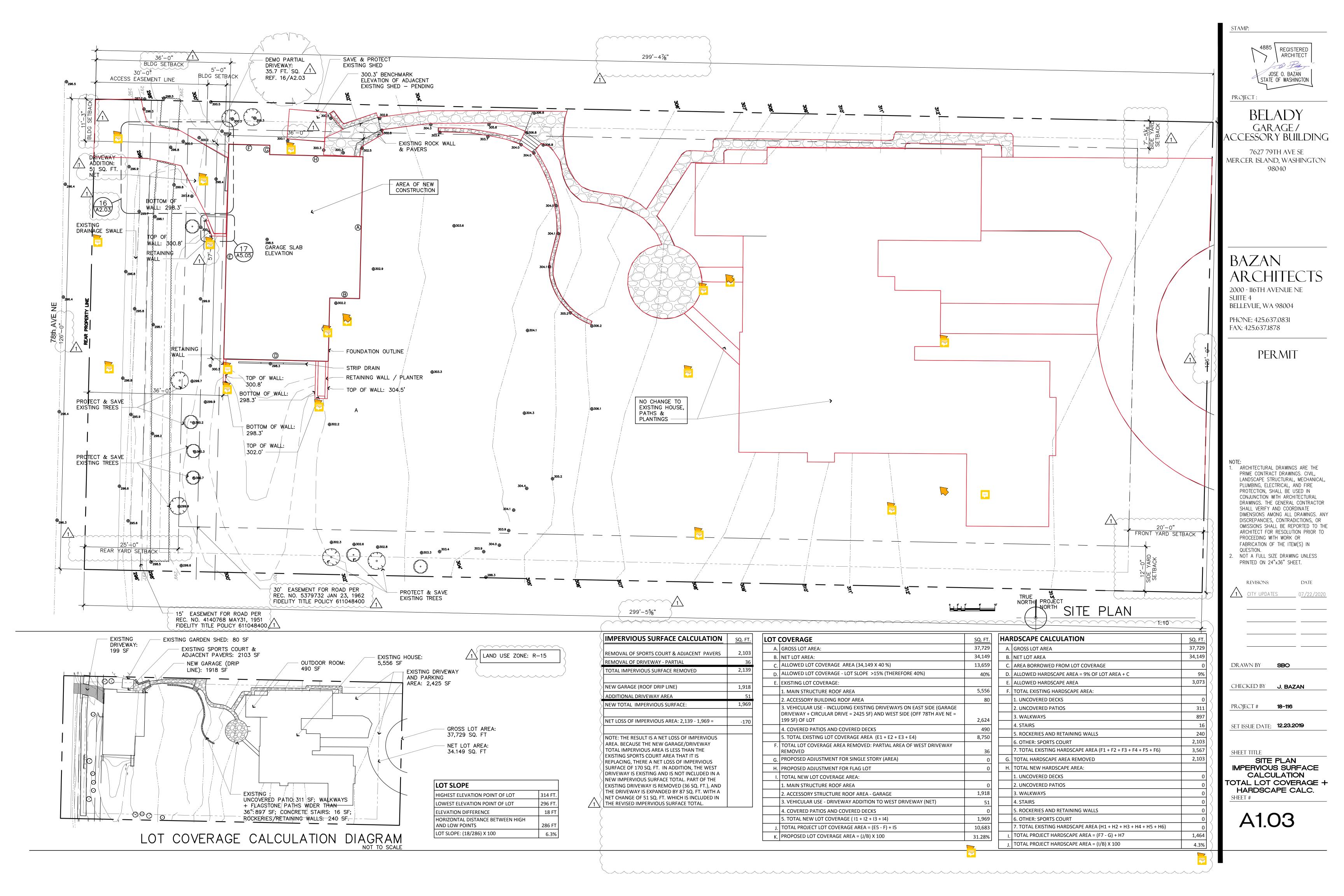
7627 79TH AVE SE, MERCER ISLAND, WA 98040

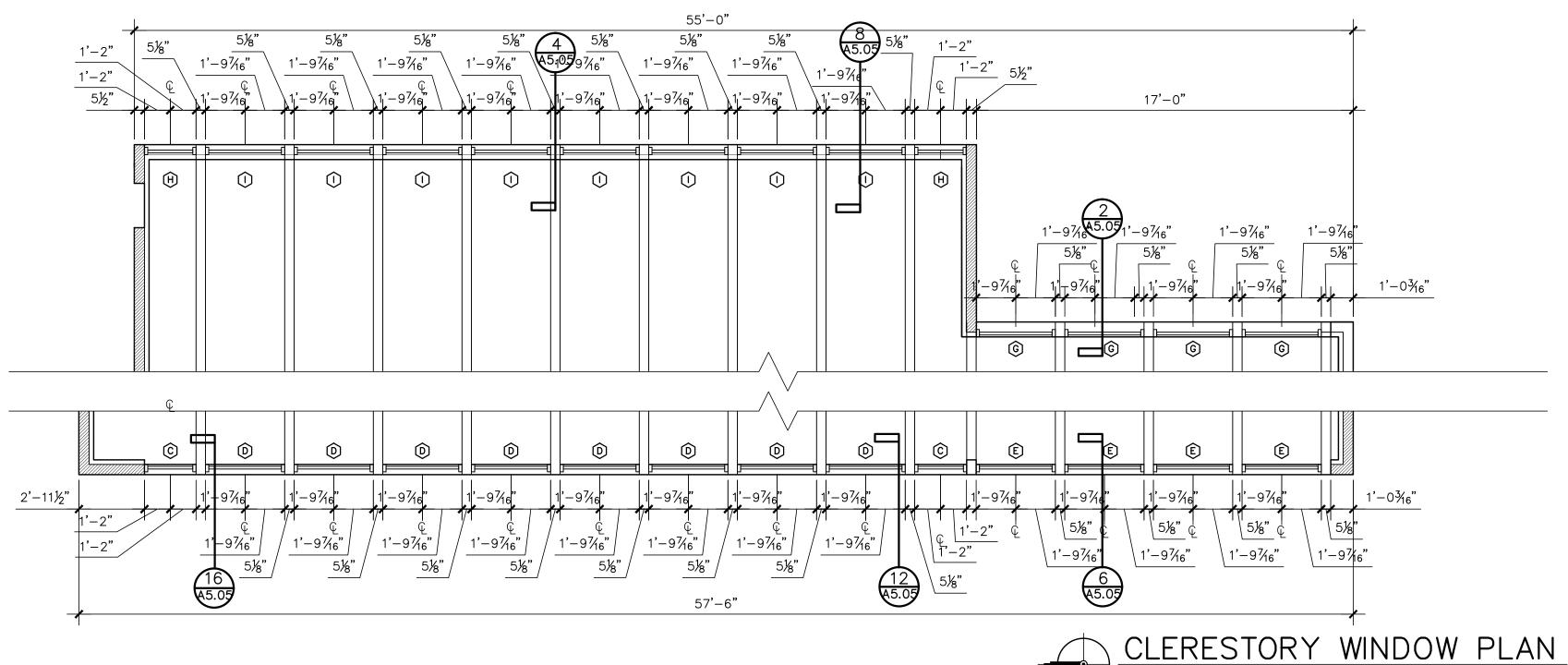
	7027 7911 AVE SE, MERCER ISLAND, WA			JOSE O. BAZAN STATE OF WASHINGTON
ABBREVIATIONS	SHEET INDEX	GENERAL I	INFORMATION	PROJECT:
AND  FDN  FDN  FOUNDATION  FREFIN  FREFIN  FREFINISHED  PROJECT  CONTERLINE  F.E.C.  FIRE EXTENGUISHER  FOUNDSHER CABINET  FIRE EXTINGUISHER CABINET  FIRE EXTINGUISHER CABINET  FIRE EXTINGUISHER CABINET  FIRE EXTINGUISHER  FIRE EXTINGUISHER  FIRE EXTINGUISHER  FIRE EXTINGUISHER  FIRE EXTINGUISHER  FIRE EXTENGUISHER  FREFIN  FREFIN PREFINISHED  FROJ  FREFINISHED  FROJ  FROJ  FREFINISHED  FROJ  FROJ  FREFINISHED  FROJ	G0.01 COVER SHEET  SITE SURVEY	7627 79TH AVE SE MERCER ISLAND, WA 98040 206.979.2210	SITE INFORMATION:  SITE ADRESS: 7627 79TH AVE SE MERCER ISLAND, WA 98040	BELADY GARAGE / ACCESSORY BUILDING
E PROPERTY LINE FL FLOOR & RECEPTACLE  Ø SQUARE FEET OR SQUARE FOOTAGE FLSG FLASHING PTN PARTITION  X° PERCENT FLG FLOORING P.T.R. PAPER TOWEL RECEPTACLE  ± PLUS OR MINUS FLUOR FLUORESCENT PVMT PAVEMENT	A1.01 DEMO SITE PLAN  A1.03 SITE PLAN, TOTAL LOT COVERAGE	ARCHITECT: BAZAN ARCHITECTS, INC. 2000 116TH AVENUE NORTHEAST BELLEVUE, WA 98004 CONTACT: JOSE BAZAN 425.637.0831	QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, WILLAMETTE	7627 79TH AVE SE MERCER ISLAND, WASHINGTON 98040
AB ANCHOR BOLT F.O.F. FACE OF FINISH Q.T. QUARY TILE A.B.S. APPROVED BY SUBMITAL F.O.M. FACE OF MASONRY A.C. ALTERNATING CURRENT F.O.S. FACE OF STUD R RISER, RADIUS A.C.T. ACOUSTICAL CEILING TILE F.O.SH. FACE OF SHEATHING R.D. ROOF DRAIN A/C AIR CONDITION F.P. FIRE PROOF R.D.O. ROOF DRAIN OVERFLOW	CALCULATIONS & IMPERVIOUS SURFACE COVERAGE.	STRUCTURAL: B2 ENGINEERS BASRI BASRI PE, SE 425.318.7047	MERIDIAN, IN KING COUNTY WASHINGTON, LYING NORTH OF THE NORTH LINE OF THE SOUTH 10 ACRES OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION;  EXCEPTING THEREFROM THE EAST 30 FEET THEREOF AS CONVEYED TO THE CITY OF MERCER ISLAND BY INSTRUMENT RECORDED UNDER RECORDING	
AC ACOUSTICAL FRMG FRAMING A.D. AREA DRAIN FT FOOT, FEET A.D.A AMERICANS WITH DISABILITIES ACT FTG FOOTING REBAR REINFORCING BAR (GUIDELINES) FURR FURRING RECD RECEIVED ADJ ADJUSTABLE FUT FUTURE REFL REFLECTED A.F.A. ABOVE FINISH FLOOR GA GAUGE REFR REFRIGERATOR AGGR AGGREGATE GALV GALVANIZED REINF REINFORCE (D,ING) AL, ALUM ALUMINUM GB GRAB BAR REQ REQUIRED	A2.01 FLOOR PLANS, CLERESTORY WINDOW PLANS  A2.03 TRUSS PLANS, ROOF PLANS		NUMBER 7606070605.  GROSS LOT AREA: 37,548 SQ. FT.  ZONING: SINGLE FAMILY(RES USE/ZONE)	
ALT ALTERNATE GEN GENERAL ANC ANCHORAGE G.O.I. GROUND FAULT INTERUPTER S SOUTH	A3.01 INTERIOR ELEVATIONS		DUIL DING LIFIGUE FOR ACCESSORY BUILDING.	BAZAN
APPD APPROVED G.I. GALVANIZED IRON SB SPLASHBLOCK APPROX APPROXIMATE GL GLASS SC SEAT COVER DISPENSER ARCH ARCHITECTURAL G.L.B. GLUE LAMINATED BEAM SCHED SCHEDULE ASB ASBESTOS G.M.U. GLAZED MASONRY UNIT SD SOAP DISPENSER, STORM DRAIN ASPH ASPHALT GND GROUND SDG SIDING AUTO AUTOMATIC GR GRADE SECT SECTION	A4.01 EXTERIOR ELEVATIONS A5.01 SECTIONS		BUILDING HEIGHT FOR ACCESSORY BUILDING:  ALLOWABLE: 17.0' ACTUAL: 14.8' (10.7' OVER EXISTING GRADE)	ARCHITECTS 2000 - 116TH AVENUE NE SUITE 4
AUTO AUTOMATIC GR GRADE SECT SECTION AVG AVERAGE G.WB. GYPSUM WALL BOARD SGD SLIDING GLASS DOOR GYP GYPSUM S.F. SQUARE FEET BD BOARD BTW BETWEEN H HIGH BITUM BITUMINOUS+ HB HOSE BIBB SHT SHEET	A5.05 WALL TYPES, DETAILS	PROJECT DESCRIPTION  TO REPLACE EXISTING SPORTS COURT WITH A NEW GARAGE (UNHEATED) AND  PER ATTEN COURT WORK ON A SHARE FAMILY LOT WITH EVICTING HOUSE CARRENT	IMPERVIOUS AREA:  NEW GARAGE AREA + DRIVEWAY: 1969 SQ.FT.	BELLEVUE, WA 98004 PHONE: 425.637.0831 FAX: 425.637.1878
BN BULL NOSE HC HOLLOW CORE SHTG SHEATHING BLDG BUILDING HD HEAD S.I. SQUARE INCHES BM BEAM HDWR HARDWARE SIM SIMILAR BTM BOTTOM HDWD HARDWOOD S.M.A.C.N.A. SHEET METAL AND AIRCONDITIONING BRG BEARING HORIZ HORIZONTAL CONTRACTORS NATIONAL ASSOCIATION,	E1.01 LIGHTING PLAN, ELEC. PLAN	RELATED SITE WORK, ON A SINGLE FAMILY LOT WITH EXISTING HOUSE, GARDEN SHED AND LANDSCAPING.		PERMIT
BSMT BASEMENT HT HEIGHT S.N.D. SANITARY NAPKIN RECEPTACLE B.U.R. BUILT UP ROOF HTG HEATING SPEC SPECIFICATION HVAC HEATING VENTILATION AIR SQ SQUARE C COURSES CONDITIONING SSK SERVICE SINK CAB CABINET H.T.A. HOT WATER TANK SS STAINLESS STEEL, SANITARY SEWER	S-0 STRUCTURE GENERAL NOTES AND SPECIFICATIONS			
CAPL CAPILLARY  C.B. CATCH BASIN  I.B.C. INTERNATIONAL BUILDING CODE  STL STEEL  CEM CEMENT  CER CERAMIC  C.F. CUBIC FOOT  INFO  INFO  INFO  INFO  INFORMATION  INSULATION  SUB  SUSPENDED	S-1 FRAMING PLAN  S-2 FRAMING PLAN	NOTES		
INSTALLED INT INTERIOR SYM SYMMETRICAL C.G. CORNER GUARD INTERCOM INTERCOMMUNICATION SYS SYSTEM C.I. CAST IRON IRC INTERNATIONAL RESIDENTIAL CODE C.J. CONTROL JOINT CLG CEILING JAN JANITOR TAN TANGENT	S-3 FRAMING DETAILS	1. CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS ON THE JOB BEFORE PROCEEDING AND SHALL REPORT ANY DISCREPANCIES TO ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING. DIMENSIONS NOTED AS PLUS OR MINUS INDICATE UNVERIFIED DISTANCE BETWEEN EXISTING REFERENCE AND ARE		
CLKG CAULKING CLO CLOSET JT JOINT TEL TELEPHONE CLR CLEAR C.M.R. CONCRETE MASONRY UNIT COUNTER CO CLEANOUT COL COLUMN COMP COMPOSITION COMP CONCRETE CONC CONCRETE CLEANOUT CONC CONCRETE CONC CONCRET	S-4 FRAMING DETAILS	APPROXIMATE.  2. ALL DRAWING CONFLICTS OR CONDITIONS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION. IF CONFLICTS AMONG DRAWINGS SHOULD OCCUR THE LARGER SCALE DRAWING SHALL GOVERN. CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE GOVERNED BY THE SPECIFICATIONS.		NOTE:  1. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. CIVIL, LANDSCAPE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION, SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR
CONN CONNECTION LKR LOCKER T.O.F. TOP OF FOOTING CONST CONSTRUCTION L.L. LIVE LOAD T.O.S. TOP OF SLAB CONT CONTINUOUS LT LITE, LEFT TOT TOTAL CONTR CONTRACTOR LV LOUVER T.O.P. TOP OF PAVEMENT CORR CORRIDOR CPT CARPET MACH MACHINE T.S. TUBE STEEL CT CERAMIC TILE MATL MATERIAL T.S.G. TEMPERED SAFETY GLASS		<ol> <li>ALL DIMENSIONS ARE MEASURED TO THE FACE OF STUD, U.N.O.</li> <li>DOOR OPENINGS ARE LOCATED 3" FROM FACE OF WALL TO THE DOOR JAMB, U.N.O.</li> <li>ALL CONSTRUCTION SHALL IN ACCORDANCE WITH THE LATEST EDITION OF STANDARD CODES AND SPECIFICATIONS AS PUBLISHED AND</li> </ol>		SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS. ANY DISCREPANCIES, CONTRADICTIONS, OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR FABRICATION OF THE ITEM(S) IN QUESTION.
C.Y. CUBIC YARD  MBR  MEMBER  TW  TOP OF WALL  TYP  TYPICAL  D DEEP, DEPTH, DEGREE  MECH  MECH MECHANICAL  DBL  DOUBLE  MED  MED  MED  MED  MED  MED  MED  M		ADOPTED BY THE GOVERNING AUTHORITY. IF A CONFLICT OCCURS BETWEEN THE DRAWINGS AND THE CODES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING WITH GOVERNING CODES.		2. NOT A FULL SIZE DRAWING UNLESS PRINTED ON 24"x36" SHEET.  REVISIONS: DATE
DF DRINKING FOUNTAIN MH MANHOLE DIA DIAMETER MIL MILITARY VB VAPOR BARRIER, VINYL BASE DIAG DIAGONAL MIN MINIMUM VCT VINYL COMPOSITION TILE DIM DIMENSION MIR MIRROR VENT VENTILATE	KEY: S	YMBOLS	VICINITY MAP	/1\ CITY UPDATES 07/22/2020
DIV DIVISION MK MARK VERT VERTICAL DN DOWN M.O. MASONRY OPENING VEST VESTIBULE DP DAMPROOF MT(D) MOUNTED VOL VOLUME DR DOOR MTL METAL VYL VINYL DS DOWNSPOUT MUL MULLION	A A A A A A A A A A A A A A A A A A A	101 — ROOM NUMBER  (A) — WINDOW SYMBOL  HIDDEN FEATURE		
D.F. DRY STANDPIPE  DW DISHWASHER  N NORTH  W/ WIDTH  WC WATER CLOSET, WALL COVERING  DWR DRAWER  N.E.C. NATIONAL ELECTRIC CODE  NIC NOT IN CONTRACT  WDW WINDOW  WINDOW  WINDOW  WH WALL HUNG	SHEET NUMBER WHERE SECTION IS DRAWN  DIRECTION OF VIEW  DETAIL	OR RELATIONSHIP  OR RELATIONSHIP  TEST BORING  LETTER INDICATES  OR RELATIONSHIP  TEST BORING	THE TOTAL SELECTION OF SELECTIO	DRAWN BY SBO  CHECKED BY J. BAZAN
E EAST NOM NOMINAL W/O WITHOUT EA EACH NTS NOT TO SCALE, NOT TO SURE WP WATERPROOF E.I.F.S. EXTERIOR INSULATION FINISH SYSTEM OA OVER—ALL WSCT WAINSCOT E.J. EXPANSION JOINT OBS OBSCURE WTHR BARR WEATHER BARRIER EL ELEVATION O.C. ON CENTER WS WEATHER STRIPPING	NUMBER INDICATES DETAIL  SHEET NUMBER WHERE DETAIL IS DRAWN  107	A8.1 B  SHEET NUMBER WHERE ELEVATION IS DRAWN	SE 76th St	PROJECT # <b>18-116</b>
ELEC ELECTRICAL O.D. OUTSIDE DIAMETER WT WEIGHT ELEV ELEVATOR OFF OFFICE WTR WATER EMER EMERGENCY OH OVERHEAD WWF WELDED WIRE FABRIC ENCL ENCLOSURE OPNG OPENING W.S.E.C. WASHINGTON STATE ENERGY CODE E.P. ELECTRICAL PANELBOARD OPP OPPOSITE E.P.D.M. ETHYLENE—PROPYLENE—DIENE MONOMER ORIG ORIGINAL	DETAIL (WALL TYPES)  NUMBER INDICATES DETAIL (WALL TYPES)	EXISTING CONTOURS  NEW CONTOURS  MANHOLE	7627 79th Ave SE, Ridgecrest Ln Mercer Island, WA 98040	SET ISSUE DATE: 12.23.2019  SHEET TITLE
EQ EQUAL OSB ORIENTED STRAND BOARD EQUIP EQUIPMENT E.W. EACH WAY PAR PARALLEL E.W.C. ELECTRIC WATER COOLER PC PRECAST EXC EXCAVATE PERF	SHEET NUMBER WHERE DETAIL (WALL TYPES) IS DRAWN  KEY: PLATE NUMBERS	M.H. MATCH LINE  BENCH MARK  101.1 — SPOT ELEVATION	Rimondge SE 78th St	GENERAL
EXH EXHAUST PERP PERPENDICULAR EXIST EXISTING PLAM PLASTIC LAMINATE EXP EXPANSION PL PLATE EXPO EXPOSED PLAS PLASTER EXT EXTERIOR PLBG PLUMBING PLYWD PLYWOOD	A2.1	——————————————————————————————————————		SHEET #
F.A. FIRE ALARM PNL PANEL  FAB FABRICATE POS POSITIVE  FB FACE BRICK PR PAIR  FD FLOOR DRAIN PREFAB PREFABRICATED	CHAPTER NUMBER  DISCIPLINE	C.B. —— CATCH BASIN ————————————————————————————————————		G0.01

## ING





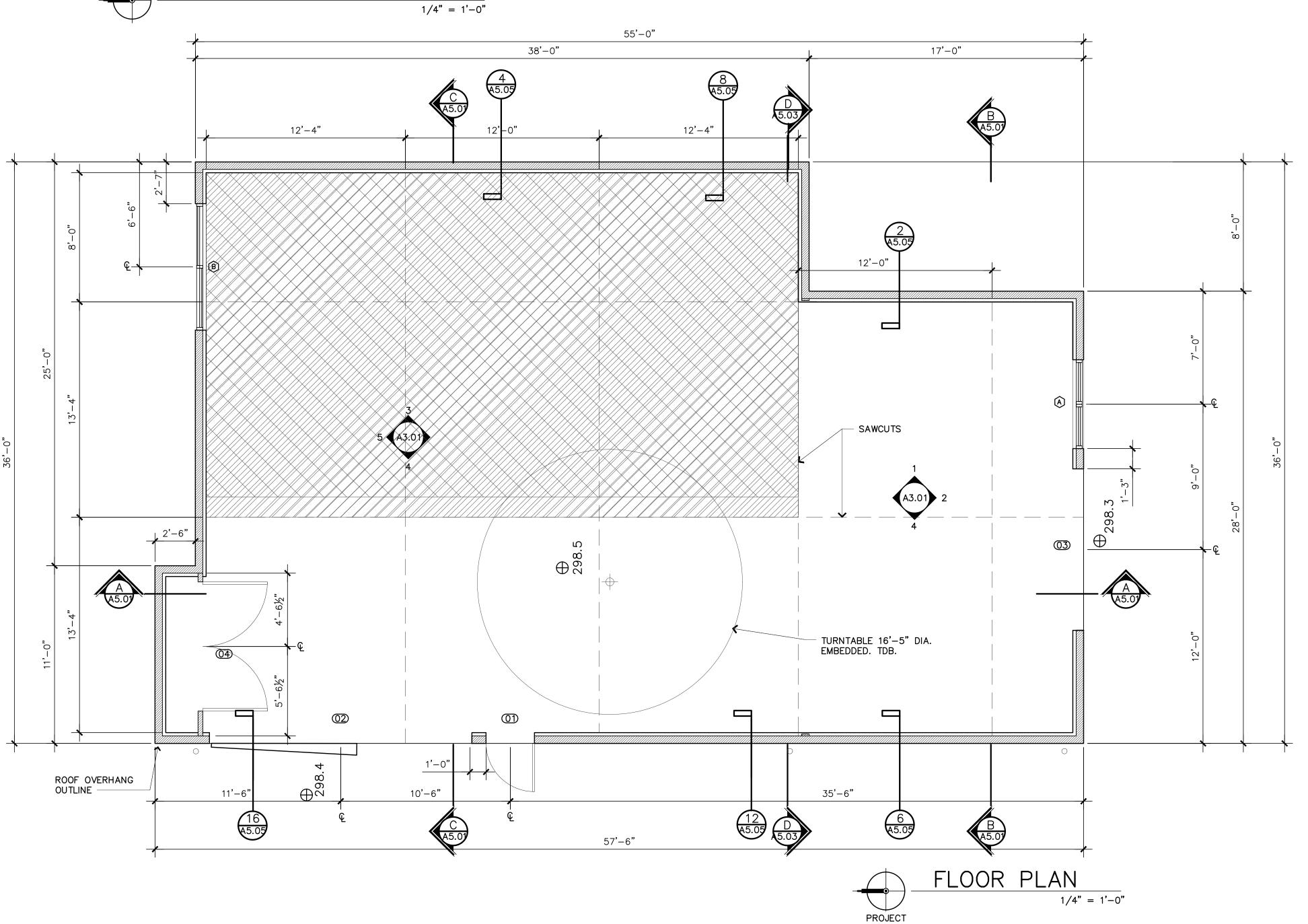




KEY:

AREA WITH CEILING HEIGHT GREATER
THAN 12' BUT LESS THAN 16'

AREA OF THICKER SLAB
REFER TO STRUCTURAL DRAWINGS



STAM

4885 REGISTERED ARCHITECT

JOSE O. BAZAN STATE OF WASHINGTON

PROJECT:

## BELADY GARAGE / ACCESSORY BUILDING

7627 79TH AVE SE MERCER ISLAND, WASHINGTON 98040

### BAZAN ARCHITECTS

2000 - 116TH AVENUE NE SUITE 4 BELLEVUE, WA 98004

PHONE: 425.637.0831 FAX: 425.637.1878

PERMIT

NOTE:

I. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. CIVIL, LANDSCAPE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION, SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS. ANY DISCREPANCIES, CONTRADICTIONS, OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR FABRICATION OF THE ITEM(S) IN

QUESTION.

NOT A FULL SIZE DRAWING UNLESS PRINTED ON 24"x36" SHEET.

REVISIONS:

DATE

DRAWN BY **SBO** 

CHECKED BY J. BAZAN

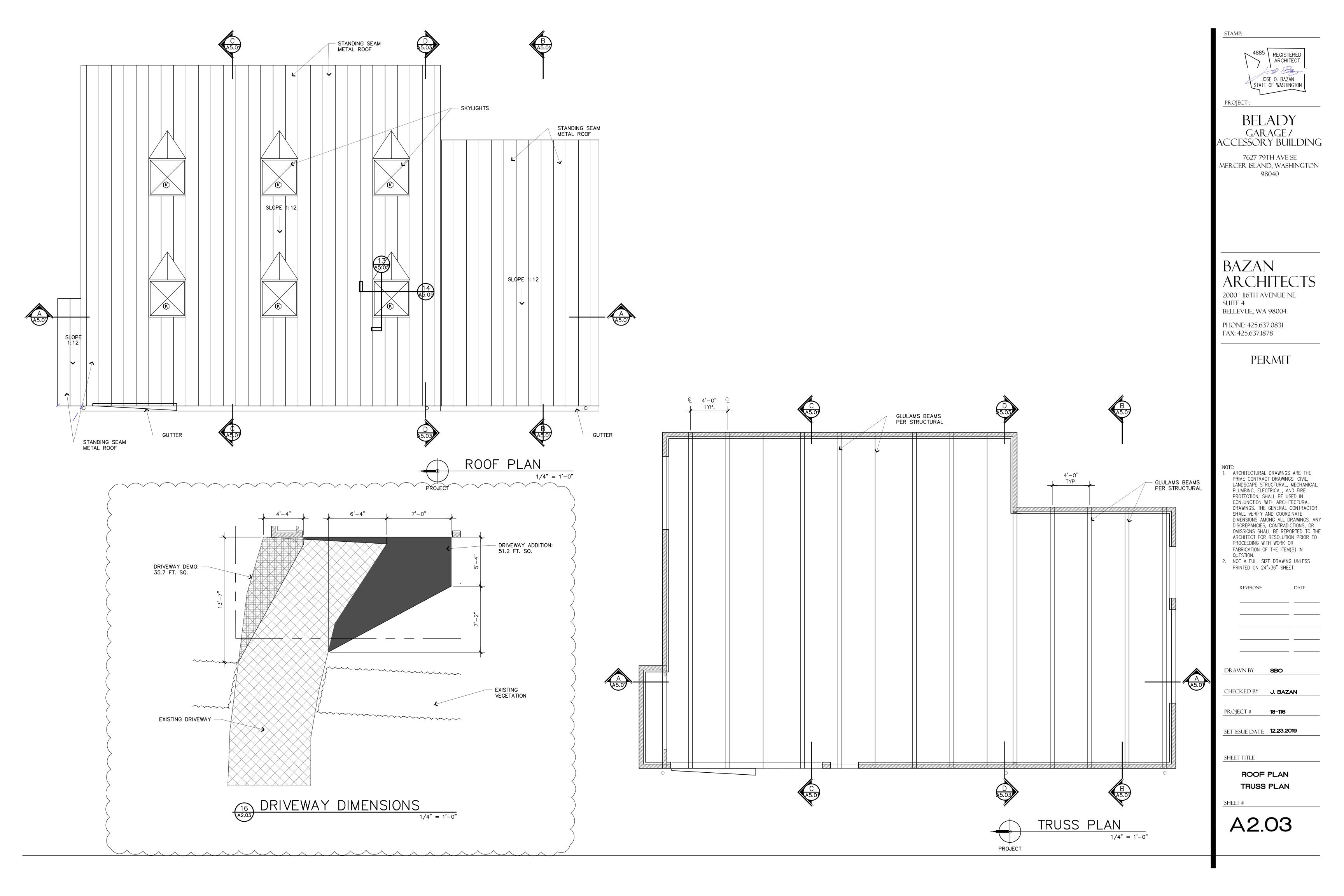
PROJECT # **18-116** 

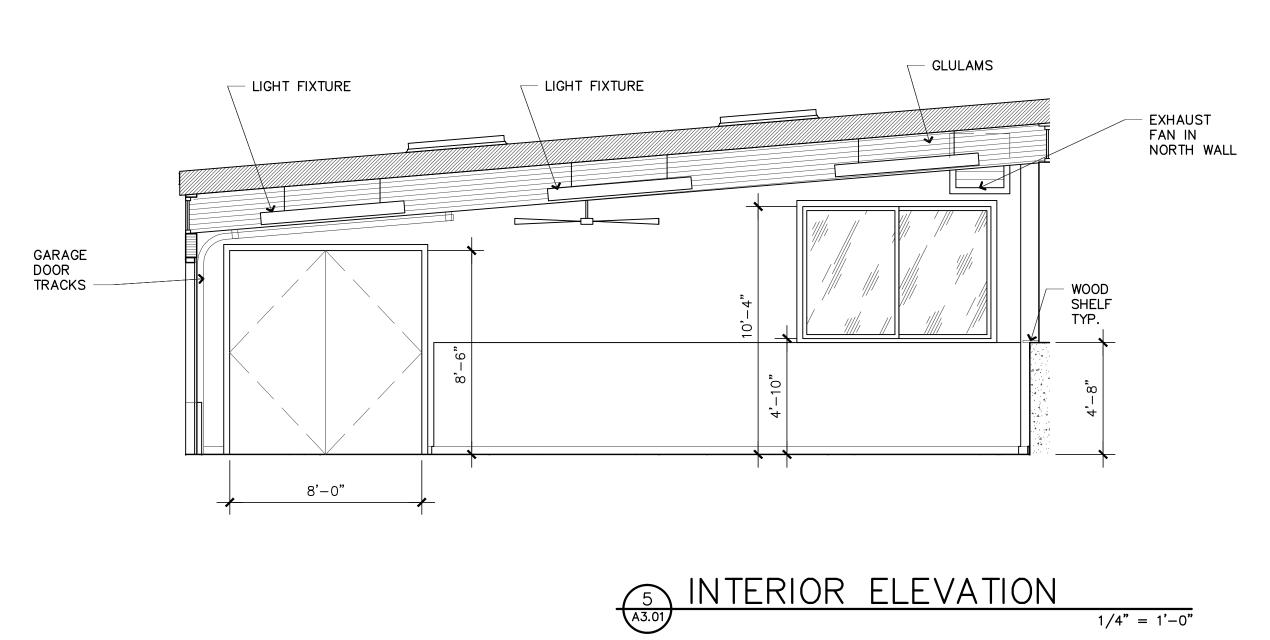
SET ISSUE DATE: **12.23.2019** 

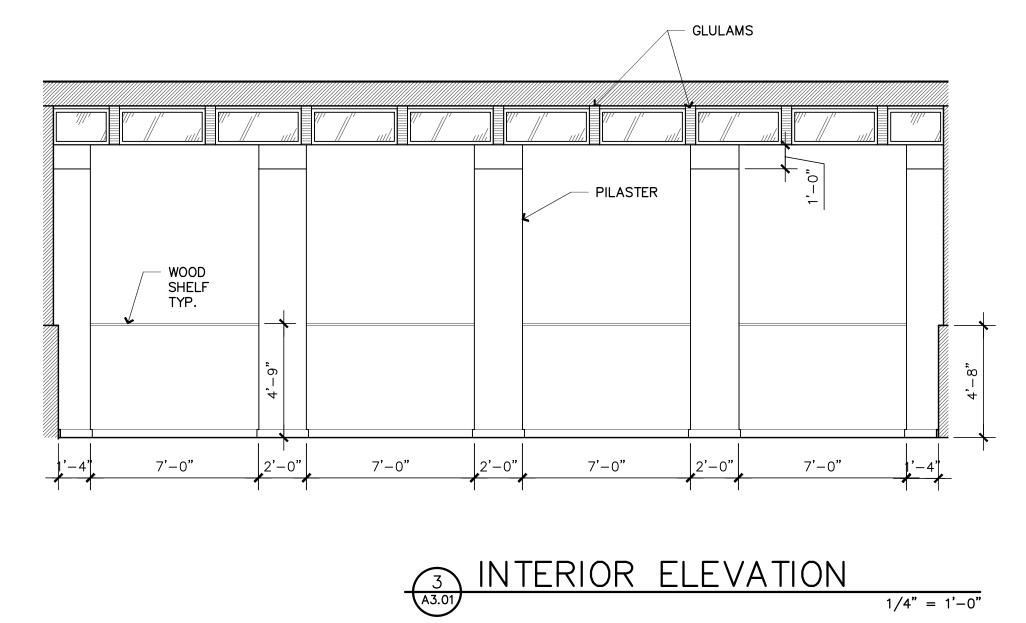
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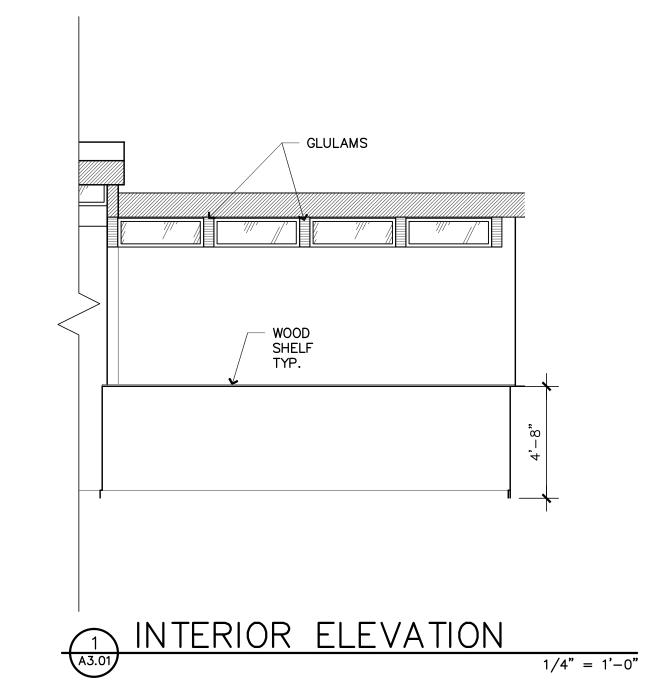
FLOOR PLAN +
CLERESTORY
WINDOW PLAN
SHEET #

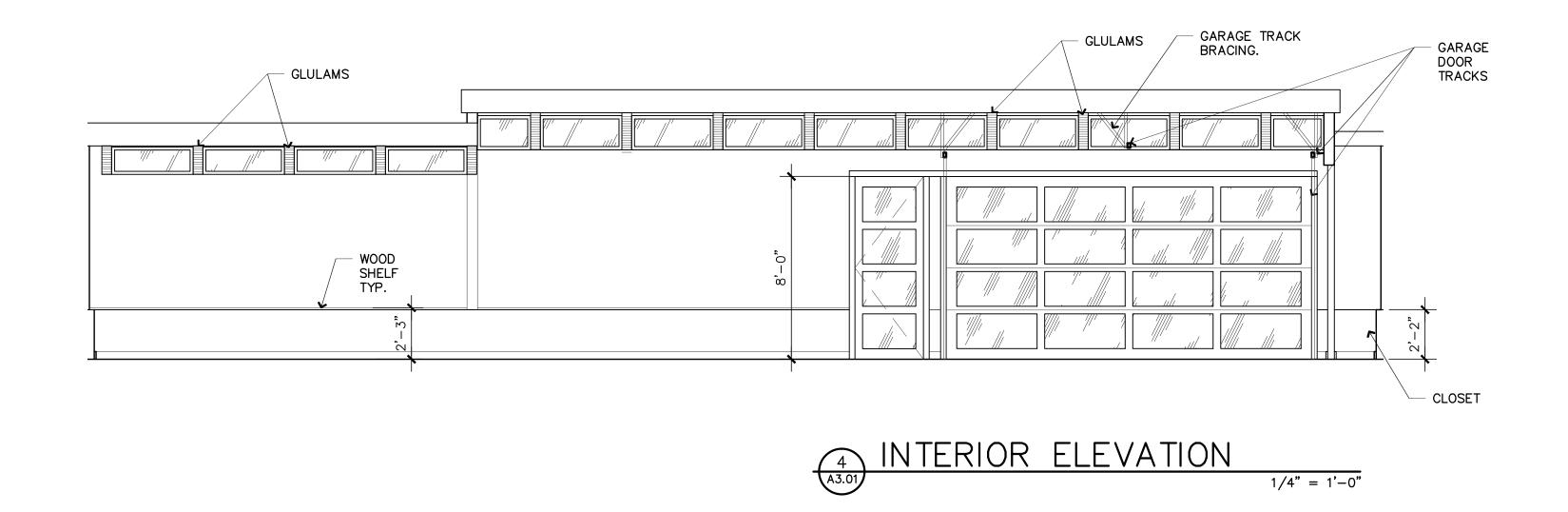
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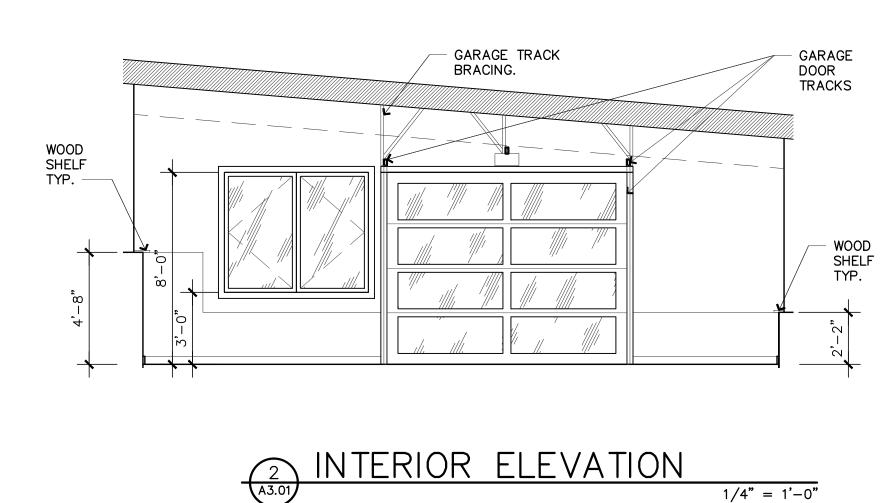












STAMP:

4885 REGISTERED ARCHITECT

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BELADY
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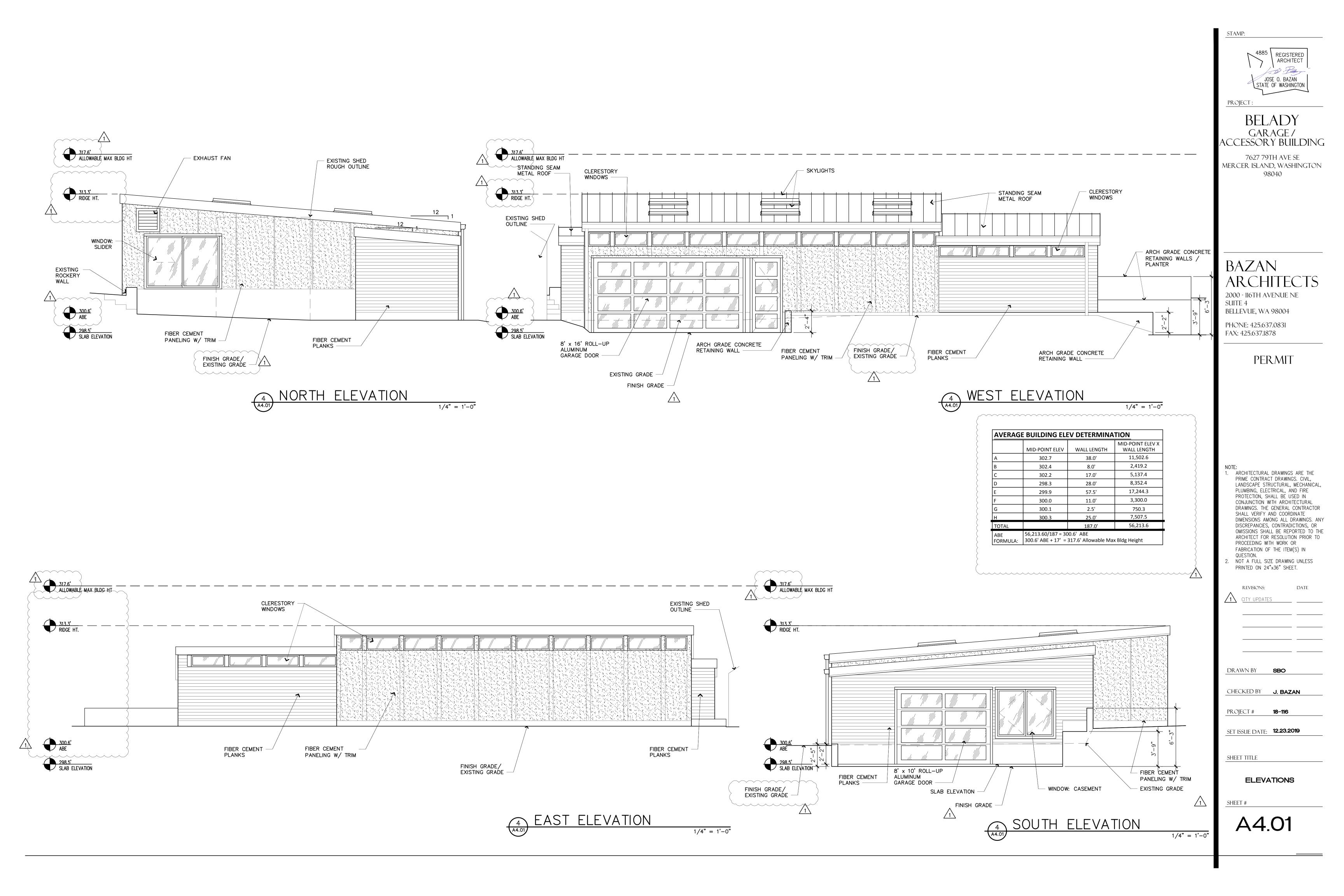
PROJECT # **18-116** 

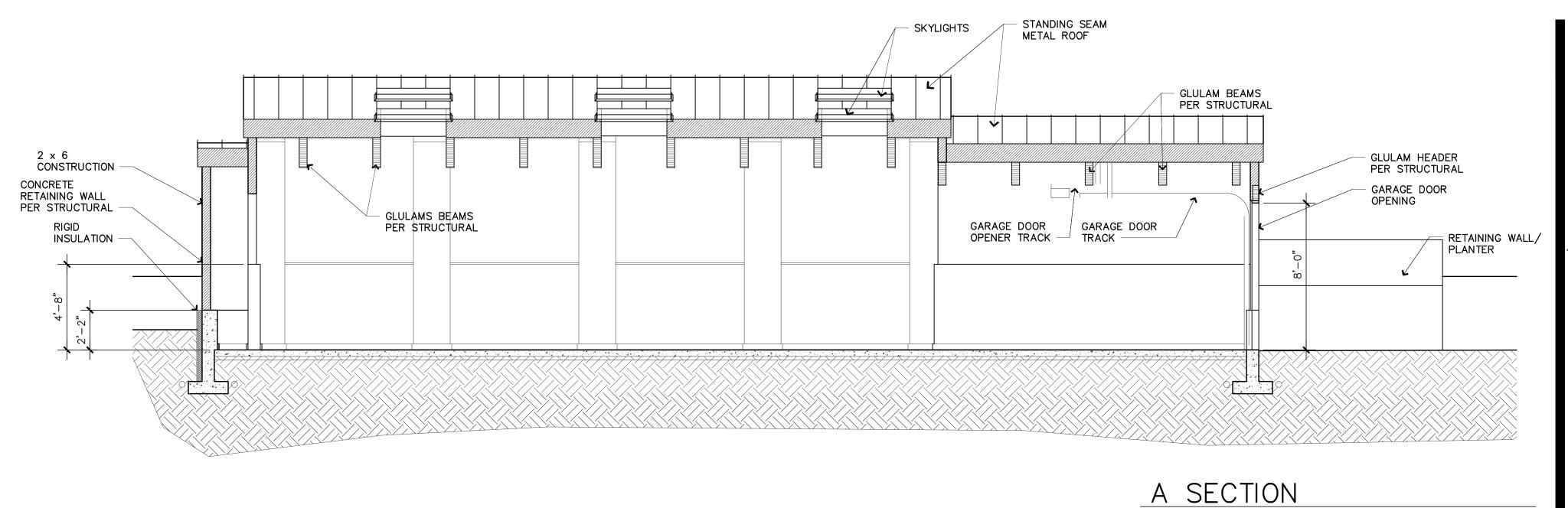
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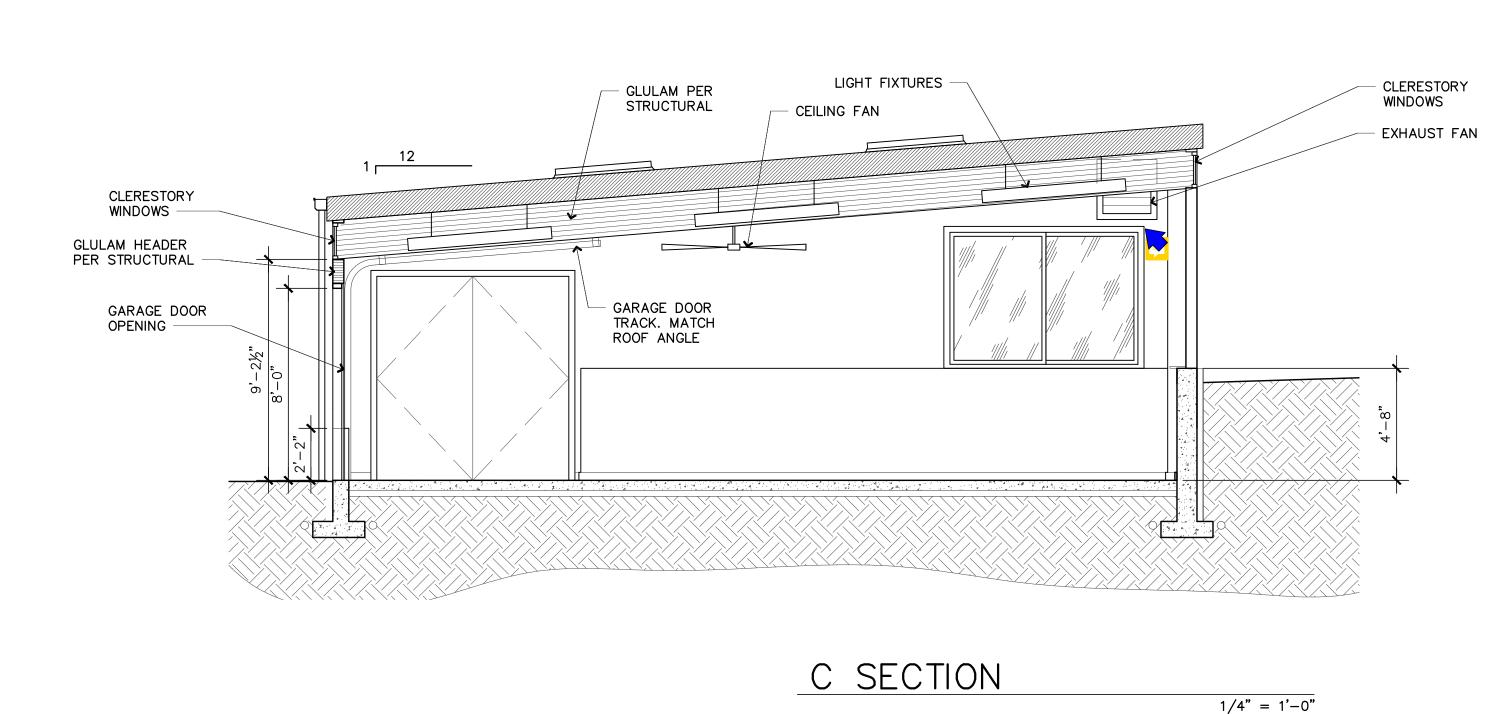
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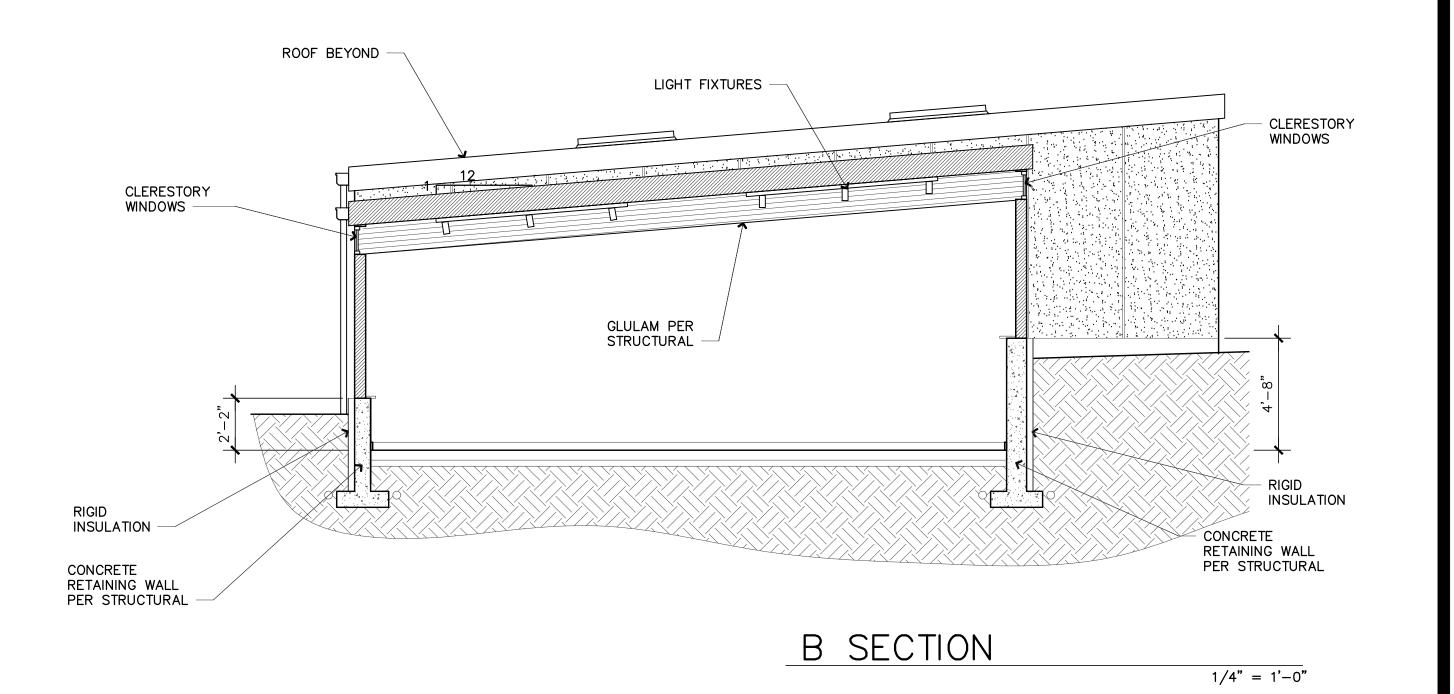
INTERIOR ELEVATIONS

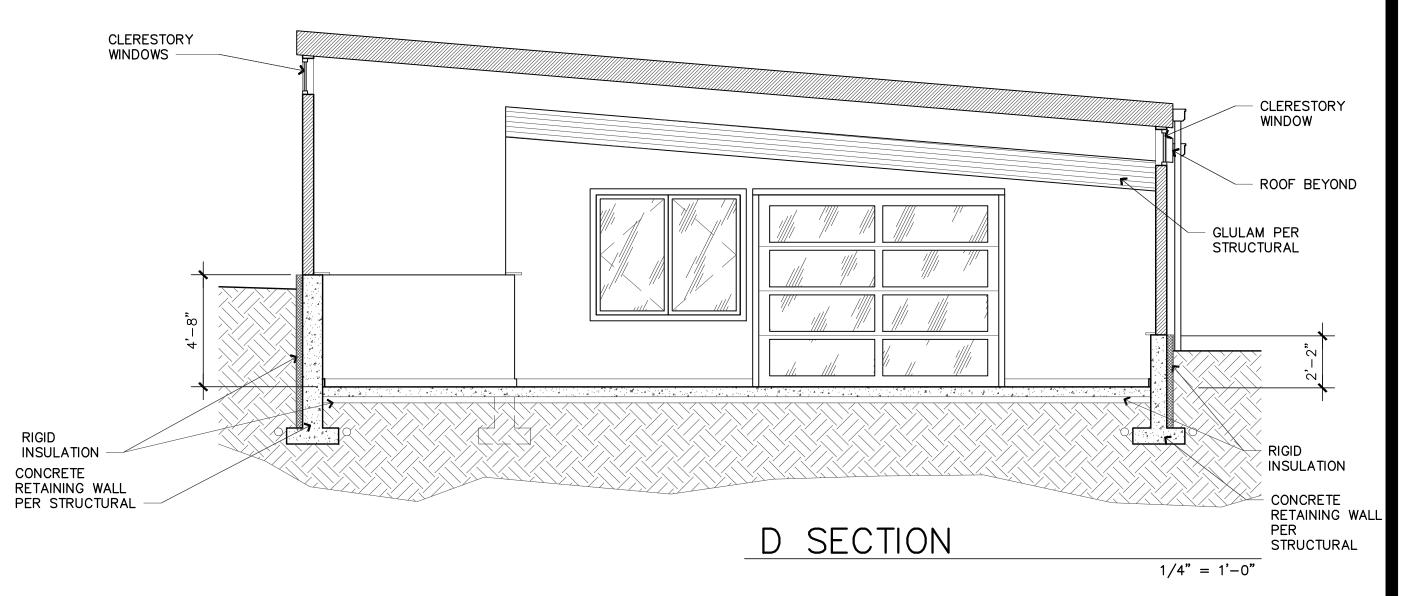
A3.01











JOSE O. BAZAN STATE OF WASHINGTON

PROJECT:

STAMP:

BELADY
GARAGE /
ACCESSORY BUILDING

7627 79TH AVE SE MERCER ISLAND, WASHINGTON 98040

BAZAN ARCHITECTS

2000 - 116TH AVENUE NE SUITE 4 BELLEVUE, WA 98004

1/4" = 1'-0"

PHONE: 425.637.0831 FAX: 425.637.1878

PERMIT

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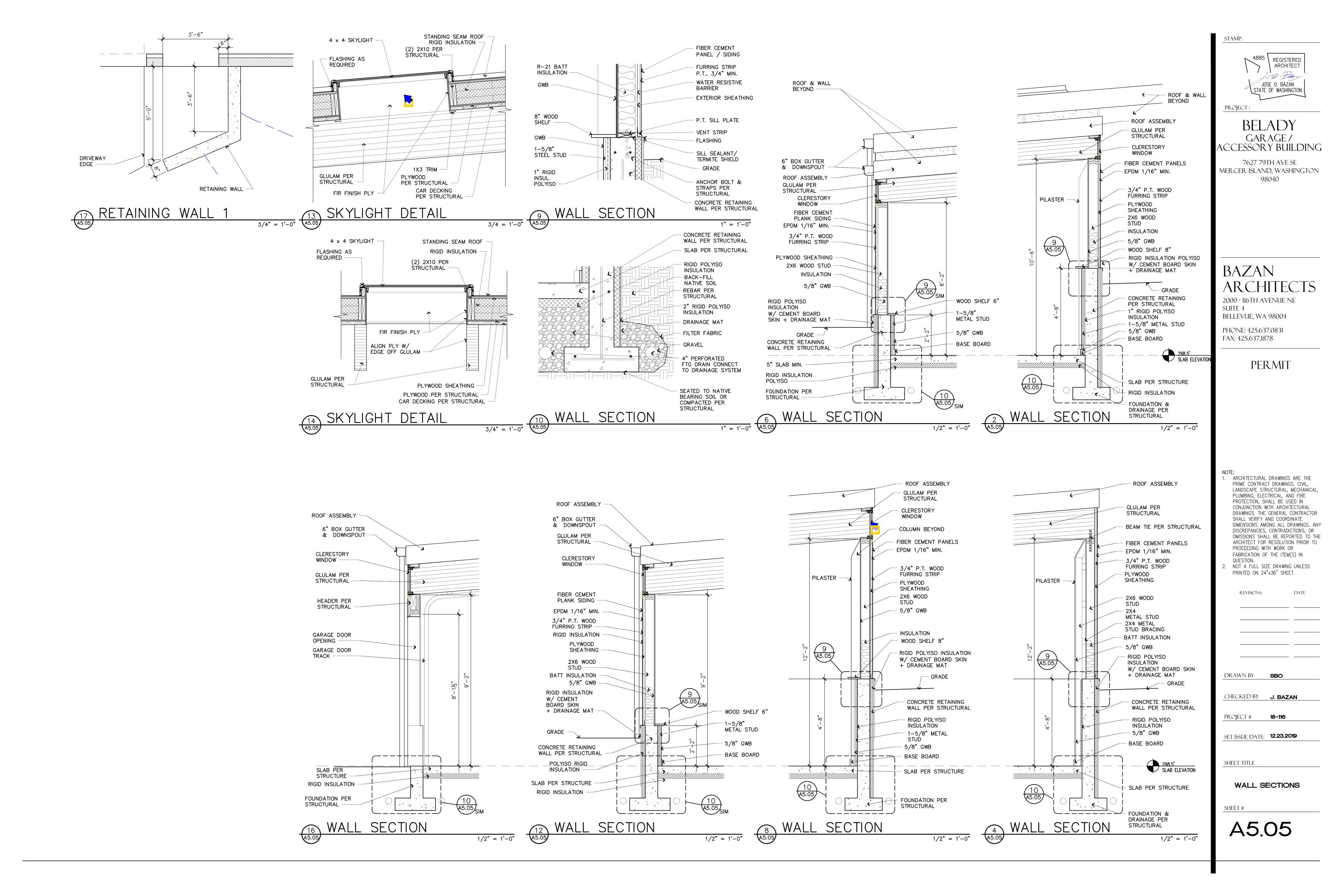
PROJECT # **18-116** 

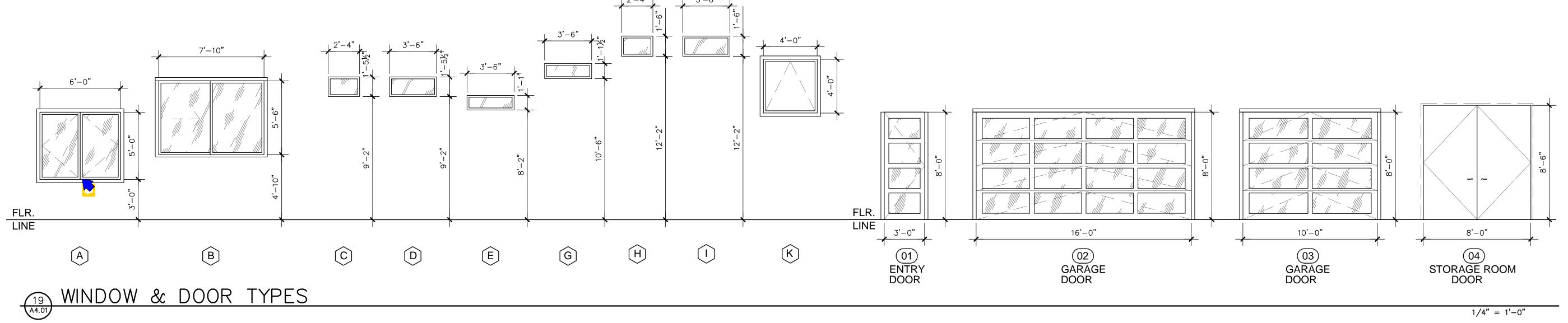
SET ISSUE DATE: **12.23.2019** 

SHEET TITLE

SECTIONS

A5.01





				WINDOW SCHEDULE	_		_					
	REQUIRE		WINDOW		SAFTY		FIRE					
SYMBOL	EGRESS	WIDTH	HEIGHT	TYPE	GLASS	FRAME	RATING	SQ. FT.	U-VALUE	SHGC	QUAN	REMARKS
Α	NO	6'-0"	5'-0"	CASEMENT	NO	THERMAL STEEL	NR	24.9			1	PELLA IMPERVIA FIBERGLASS
В	NO	7'-10"	5'-6"	SLIDER	NO	THERMAL STEEL	NR	37.9			1	PELLA IMPERVIA FIBERGLASS
С	NO	2'-4"	1'-5 1/2"	FIXED	NO	THERMAL STEEL	NR	2.4			2	PELLA IMPERVIA FIBERGLASS
D	NO	3'-6"	1'-5 1/2"	FIXED	NO	THERMAL STEEL	NR	3.7			8	PELLA IMPERVIA FIBERGLASS
E	NO	3'-6"	1'-1"	FIXED	NO	THERMAL STEEL	NR	2.5			4	PELLA IMPERVIA FIBERGLASS
G	NO	3'-6"	1' 1 1/2"	FIXED	NO	THERMAL STEEL	NR	2.7			4	PELLA IMPERVIA FIBERGLASS
Н	NO	2'-4"	1'-6"	FIXED	NO	THERMAL STEEL	NR	2.5			2	PELLA IMPERVIA FIBERGLASS
I	NO	3'-6"	1'-6"	FIXED	NO	THERMAL STEEL	NR	3.9			8	PELLA IMPERVIA FIBERGLASS
К	NO	4'-0"	4'-0"	SKYLIGHT-FIXED	NO	WOOD CURB	NR	13.4	NA	NA	6	VELUX
				DOOR SCHEDULE								
MARK	ROOM NAME	SIZE: WIDTH	SIZE: HEIGHT	TYPE	CORE	MATERIAL	FRAME	SQ. FT.	U-VALUE	SHGC	QUAN	REMARKS
01	GARAGE	6'-0"	8'-0"	SWIING	INSUL	GLASS	AL				1	TBD
02	GARAGE	16'-0"	8'-0"	OVERHEAD	INSUL	GLASS	AL				1	TBD
03	GARAGE	8'-0"	8'-0"	OVERHEAD	INSUL	GLASS	AL				1	TBD
04	STORAGE	8'-0"	8'-6"	SWING	WOOD	WOOD	WOOD				1	TBD

STAMP:

JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT:

# BELADY GARAGE / ACCESSORY BUILDING

7627 79TH AVE SE MERCER ISLAND, WASHINGTON 98040

## BAZAN 1" = 1'ARCHITECTS

2000 - 116TH AVENUE NE SUITE 4 BELLEVUE, WA 98004

PHONE: 425.637.0831 FAX: 425.637.1878

PERMIT

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CHECKED BY J. BAZAN

PROJECT # **18-116** 

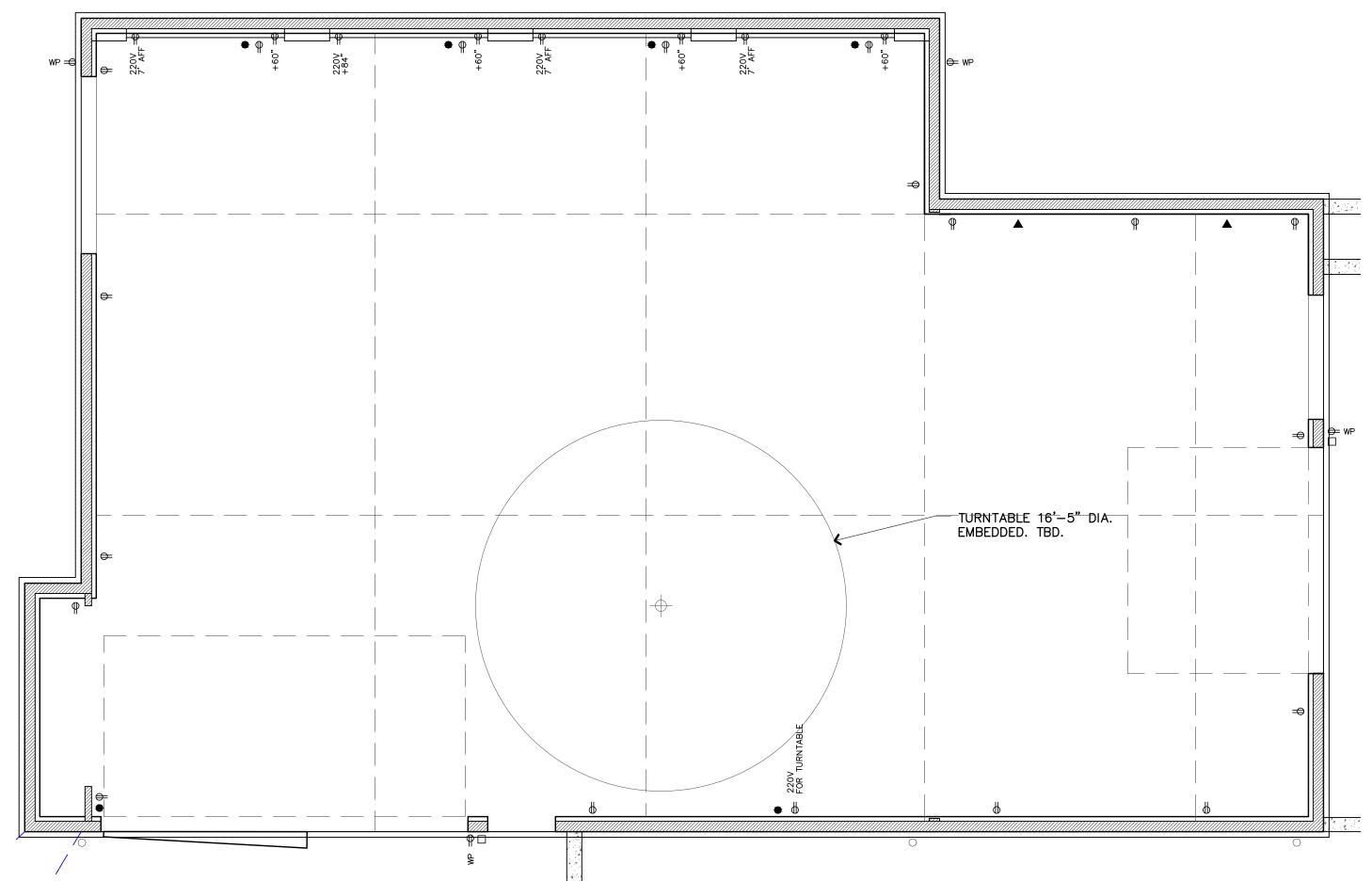
SET ISSUE DATE: **12.23.2019** 

SHEET TITLE

WINDOW + DOOR SCHEDULES

SHEET

A7.01



TYPE	DESCRIPTION	LAMPS	WATTAGE	MANUFACTURER
	LINEAR LIGHTS SUSPENDED DOWN LED	TBD		
0 0	TRACK LIGHTING LED	TBD		
•	4" LED-WHITE	TBD		
$\Theta$	4" LED-WHITE WALL WASHER	TBD		
	EXTERIOR WALL SCONCE	TBD		

 LEGEND:

 ⊕
 DUPLEX OUTLET @ 18" U.N.O.

 ⊕ 220V
 DUPLEX OUTLET 220V

 ⊕ + 60"
 DUPLEX OUTLET AT DESIGNATED HEIGHT

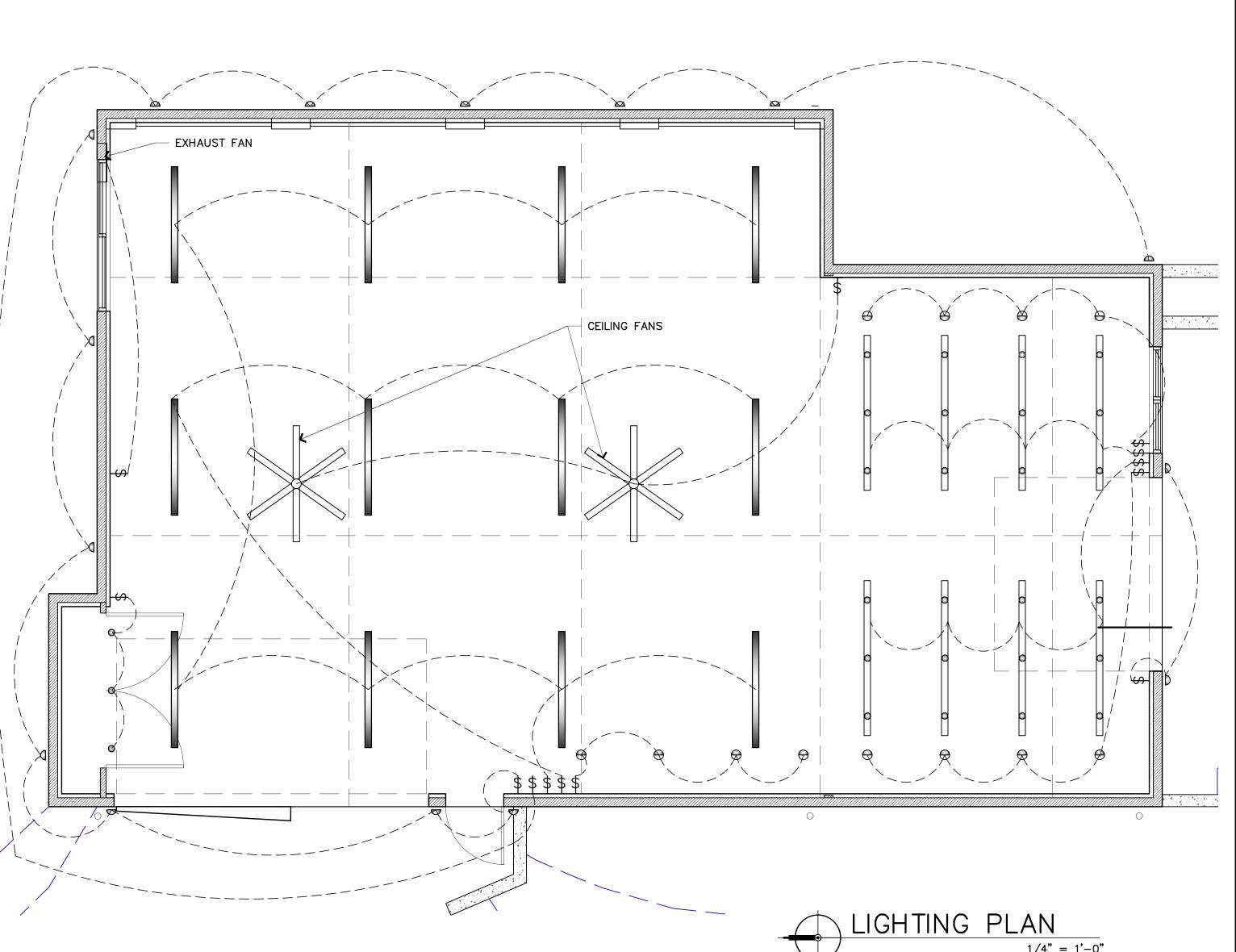
 ⊕ WP
 GROUND FAULT CIRCUT INTERRUPTER OUTLET W/WEATHER PROOF COVER

 ✓
 TELEPHONE / DATA JACK / TV CABLE JACK

 □
 ENTRY KEYPAD

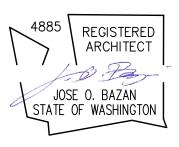
 AIR COMPRESSOR TAKE-OFF





PROJECT

STAMP:



PR OIF

## BELADY GARAGE / ACCESSORY BUILDING

7627 79TH AVE SE MERCER ISLAND, WASHINGTON 98040

### BAZAN ARCHITECTS

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PERMIT

NOTE:

1. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. CIVIL, LANDSCAPE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION, SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS. ANY DISCREPANCIES, CONTRADICTIONS, OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR FABRICATION OF THE ITEM(S) IN

REVISIONS:	DATE

NOT A FULL SIZE DRAWING UNLESS

PRINTED ON 24"x36" SHEET.

DRAWN BY SBO

CHECKED BY J. BAZAN

PROJECT # **18-116** 

SET ISSUE DATE: **12.23.2019** 

SHEET TITLE

ELECTRICAL PLAN LIGHTING PLAN

SHEET

E1.01

CODE: INTERNATIONAL BUILDING CODE (IBC)	2015
LOADINGS FLOOR LIVE LOADDECK LIVE LOADROOF SNOW LOAD	40 PSF 60 PSF 25 PSF
WIND CRITERIA BUILDING CLASSIFICATION ULTIMATE WIND SPEED WIND EXPOSURE TOPOGRAPHIC FACTOR, Kzt	II 110 MPH B 1.6
SEISMIC CRITERIA SEISMIC RISK CATEGORY SPECTRAL RESPONSE COEFFICIENT, Ss SPECTRAL RESPONSE COEFFICIENT, S1 SEISMIC SITE CLASS	II 1.47 0.56 D
STRUCTURAL SYSTEM	

ONE STORY WOOD FRAMED GARAGE

#### **GENERAL CONDITIONS**

THE CONTRACTOR SHALL EXAMINE THE STRUCTURAL DRAWINGS AND SHALL NOTIFY THE STRUCTURAL ENGINEER IN WRITING OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK.

ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.

SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE THE NOTES, DRAWINGS, AND/OR SPECIFICATIONS DIFFER, THE MORE STRINGENT REQUIREMENT SHALL APPLY.

4. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.

WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THESE DRAWINGS.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF ANY CONDITION THAT, IN HIS OPINION, MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS TO THE STRUCTURE.

7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION. NOTIFY ENGINEER OF ALL FIELD CHANGES PRIOR TO INSTALLATION.

REFER TO THE ARCHITECTURAL DRAWINGS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE STRUCTURAL DRAWINGS.

9. ALL CONSTRUCTION SHALL BE DONE WITH MATERIALS, METHODS, AND WORKMANSHIP ACCEPTED AS GOOD PRACTICE BY THE CONSTRUCTION INDUSTRY AND IN CONFORMANCE WITH THE PROVISIONS OF PREVAILING CODE EDITION OF THE "INTERNATIONAL BUILDING CODE" (IBC) AND STANDARDS REFERENCED THEREIN.

10. PIPES, DUCTS, SLEEVES, OPENINGS, POCKETS, CHASES, BLOCK-OUTS, ETC., SHALL NOT BE PLACED IN SLABS, FOUNDATIONS, ETC., NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR SUCH ITEMS, UNLESS SPECIFICALLY DETAILED ON THESE STRUCTURAL DRAWINGS.

11. ALTERNATE ASSEMBLIES AND MATERIALS WILL BE CONSIDERED FOR REVIEW. ENGINEER MAY REQUEST PAYMENT FOR REVIEW.

STRUCTURAL DESIGN COMPLIES WITH SOILS REPORT PRODUCED BY:

FOOTING BEARING PRESSURE:

**FOUNDATION** 

1500 PSF (ASSUMED)

LATERAL EARTH PRESSURE ON RETAINING WALLS N.A.

SUBGRADE PREPARATION, DRAINAGE PROVISIONS, AND OTHER RELEVANT SOIL CONSIDERATIONS ARE TO BE IN ACCORDANCE WITH SAID SOILS REPORT.

DIMENSIONAL LUMBER, ANCHOR BOLT AND NAILING SPECIFICATIONS

1. MEET REQUIREMENTS OF PS 20-70 AND NATIONAL GRADING RULES FOR SOFTWOOD

DIMENSIONAL LUMBER. BEAR STAMP OF WWPA.

2. MINIMUM DIMENSIONAL LUMBER GRADES TO BE:

WALL STUDS, 2X, 3 X...... HF STUD GRADE WALL PLATES, 2X, 3X...... HF STANDARD GRADE U.N.O JOISTS, 2 X 6:..... HF #2 JOISTS, 2 X 8 AND UP...... DF #2 BEAMS, HEADERS, 6X ...... DF #2 BEAMS, HEADERS, 4X...... DF #2, WWPA GRADING POSTS, 4X, 6X.... DF #2 U.N.O

LUMBER NOT NOTED HERE... DF #2 U.N.O 3. PROVIDE STANDARD CUT WASHERS FOR BOLT HEADS AND NUTS BEARING AGAINST WOOD.

4. ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY THAT IS IN CONTACT WITH OR RESTING ON FOUNDATIONS SHALL BE PRESSURE-TREATED DOUGLAS FIR/ HEMFIR IN ACCORDANCE TO WITH AWPA U1 (PLANT/SHOP TREATMENT) AND M4 (FIELD TREATMENT) STANDARDS. ALL BEARING WALL PLATES SHALL HAVE 5/8" Ø x10" J-BOLTS PLACED AT MAXIMUM OF 9" FROM THE END OF A PLATE AND SPACED AT INTERVALS SHOWN ON THE SHEARWALL SCHEDULE (MAXIMUM 4'-0" OC SPACING). PROVIDE BP PLATE WASHER AT ALL FOUNDATION SILL PLATE ANCHOR BOLTS. PROVIDE TWO ANCHOR BOLTS MINIMUM PER SECTION OF SILL. FOR NON-SHEARWALL, PLACE ANCHORS AT 48".

5. BOLTS IN WOOD SHALL NOT BE LESS THAN 7 DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER.

6. NAILS: COMMON WIRE NAILS. NAILING IN ACCORDANCE WITH IBC TABLE 2304.9.1.

7. PRESSURE TREATED WOOD: ALL NAILS INTO PT WOOD SHALL BE HOT DIPPED GALVANIZED PER ASTM A153 OR STAINLESS STEEL. ALL METAL CONNECTORS IN CONTACT WITH PT WOOD SHALL BE HOT DIPPED GALVANIZED AND MEET ASTM A653 CLASS G185 (1.85 OZ OF ZINC PER SQ FT MINIMUM) OR TYPE 304 / 316 STAINLESS STEEL SIMPSON Z-MAX CONNECTORS MEET THIS REQUIREMENT. FASTENERS AND CONNECTORS USED TOGETHER SHALL BE OF THE SAME TYPE (E.G. HOT DIPPED NAILS WITH HOT DIPPED HANGERS)

8. ALL LUMBER WITH A LEAST DIMENSION OF 2" (NOMINAL) SHALL BE STAMPED "SURFACE-DRY" AND SHALL HAVE A MOISTURE CONTENT WHEN SURFACED AND WHEN INSTALLED OF NO MORE THAN 19 PERCENT. LUMBER WITH A LEAST DIMENSION OF 4" (NOMINAL) OR GREATER SHALL BE STAMPED "SURFACE-GREEN" AND AIR-DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 19 PERCENT PRIOR TO ITS USE IN FRAMING THE STRUCTURE.

9. NOTCHING AND BORING OF BEAMS AND JOISTS IS NOT ALLOWED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.

a. Inspection tasks Prior to Welding (Observe, or perform for each welded joint or member, the QA tasks listed in AISC 360, Table N5.4-1) b. Inspection tasks During Welding (Observe, or perform for each welded joint or member, the QA tasks listed in AISC 360. Table N5.4-1) c. Inspection tasks After Welding (Observe, or perform for each welded joint or member, the QA tasks listed in AISC 360, Table N5.4-3) d. Nondestructive testing (NDT) of welded joints: see Commentary 1) Complete penetration groove welds 5/16" or greater in risk category III or IV 2) Complete penetration groove welds 5/16" or greater in risk category II 3) Thermally cut surfaces of access holes when material t > 2" 4) Welded joints subject to fatigue when required by AISC 360, Appendix 3, Table A-3.1 5) Fabricator's NDT reports when fabricator performs NDT 6. Structural steel bolting: a. Inspection tasks Prior to Bolting (Observe, or perform tasks for each bolted connection, in accordance with QA tasks listed in AISC 360, Table N5.6-1) b.Inspection tasks During Bolting (Observe the QA tasks listed in AISC 360, Table N5.6-2) 1) Pre-tensioned and slip-critical joints a) Turn-of-nut with matching markings b) Direct tension indicator c) Twist-off type tension control bolt d) Turn-of-nut without matching markings e) Calibrated wrench 2) Snug-tight joints c. Inspection tasks After Bolting (Perform tasks for each bolted connection in accordance with QA tasks listed in AISC 360, Table N5.6-3) 7. Inspection of steel elements of composite construction prior to concrete placement in accordance with QA tasks listed in AISC 360, Table N6.1 1705.2.2 Steel Construction Other Than Structural Steel 1. Material verification of cold-formed steel deck: a. Identification markings b. Manufacturer's certified test reports 2. Connection of cold-formed steel deck to supporting structure: a. Welding b. Other fasteners (in accordance with AISC 360, Section N6) 1) Verify fasteners are in conformance with approved submittal 2) Verify fastener installation is in conformance with approved submittal and manufacturer's recommendations 3. Reinforcing steel a. Verification of weldability of steel other than ASTM A706 b. Reinforcing steel resisting flexural and axial forces in intermediate and special moment frames, boundary elements of special concrete structural walls and shear reinforcement c. Shear reinforcement d. Other reinforcing steel 4. Cold-formed steel trusses spanning 60 feet or greater a. Verify temporary and permanent restraint/bracing are installed in accordance with the approved truss submittal package 1705.3 Concrete Construction 1. Inspection of reinforcing steel installation (see 1705.2.2 for welding) 2. Inspection of prestressing steel installation 3. Inspection of anchors cast in concrete where allowable loads have been increased per section 1908.5 or where strength design is used 4. Inspection of anchors and reinforcing steel post-installed in hardened concrete: Per research reports including verification of anchor type, anchor dimensions, hole dimensions, hole cleaning procedures, anchor spacing, edge distances, concrete minimum thickness, anchor embedment 5. Verify use of approved design mix 6. Fresh concrete sampling, perform slump and air content tests and determine temperature of 7. Inspection of concrete and shotcrete placement for proper application techniques 8. Inspection for maintenance of specified curing temperature and techniques Inspection of prestressed concrete: a. Application of prestressing force b. Grouting of bonded prestressing tendons in the seismic-force-resisting system 10. Erection of precast concrete members a. Inspect in accordance with construction documents b. Perform inspections of welding and bolting in accordance with Section 1705.2 11. Verification of in-situ concrete strength, prior to stressing of tendons in post tensioned concrete and prior to removal of shores and forms from beams and structural slabs 12. Inspection of formwork for shape, lines, location and dimensions 13. Concrete strength testing and verification of compliance with construction documents 1. The inspection and testing agent(s) shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official prior to commencing work. The qualifications of the Special Inspector(s) and/or testing agencies may be subject to the approval of the Building Official and/or the Design Professional. 2. The list of Special Inspectors may be submitted as a separate document, if noted so above. 3. Special Insepctions as required by Section 1704.2.5 are not required where the fabricator is approved in accordance with IBC Section 1704.2.5.2 4. Observe on a random basis, operations need not be delayed pending these inspections. Perform these tasks for each welded joint, bolted connection, or steel element. 5. NDT of welds completed in an approved fabricator's shop may be performed by that fabricator when approved by the AHJ. Refer to AISC 360, N7. CONCRETE SHALL CONFORM TO THE INDICATED REFERENCE CODES AND STANDARDS **EXCEPT AS MODIFIED BELOW:** ACI-301 - "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE" ACI-318 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" ACI-305R - "HOT WEATHER CONCRETING" ACI-306R - "COLD WEATHER CONCRETING" ACI-304 - "GUIDE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE" CONCRETE MIX SPECIFICATIONS **LOCATION** COMP. SRENGTH W/C RATIO AIR CONTENT REMARK FOOTING 2500 PSI (MIN. OF 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE) SLAB ON GRADE 2500 PSI (MIN. OF 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE) FOUNDATION WALL 2500 PSI (MIN. OF 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE) **TOPPING** 

CONCRETE AND REINFORCING

REQUIRED? (Y/N) MATERIAL / ACTIVITY

Y N

1704.2.5 Inspection of Fabricators

1705.2 Steel Construction

5. Structural steel welding:

Verify fabrication/quality control procedures

2. Material verification of structural steel

comply with construction documents

paragraph 3.2 for compliance with construction documents)

1705.1.1 Special Cases (work unusual in nature, including but not limited to alternative materials and systems, unusual design applications, materials and systems with special manufacturer's

1. Fabricator and erector documents (Verify reports and certificates as listed in AISC 360, chapter N,

3. Embedments (Verify diameter, grade, type, length, embedment. See 1705.3 for anchors) 4. Verify member locations, braces, stiffeners, and application of joint details at each connection

TOTAL AIR CONTENT IS SPECIFIED IN THE TABLE ABOVE. AIR CONTENT TOLERANCE SHALL BE ± 1% AND SHALL BE MEASURED AT THE POINT OF PLACEMENT. (AFTER PUMPING IF APPLICABLE). ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE AN APPROVED ADMIXTURE TO ENTRAIN AIR - 5% TOTAL AIR REQUIRED. CONCRETE THAT CAN BE SUBJECTED TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR ENTRAINED.

3. PROVIDE GRADE 60 KSI (A615) FOR CONCRETE STEEL REINFORCING

Periodic			1705.4 Masonry Construction (A) Level A, B and C Quality Assurance:	
	Υ	N	Verify compliance with approved submittals     (B) Level B Quality Assurance:	Periodic
	Υ	N	Verification of f'm and f'AAC prior to construction	Periodic
	Υ	N	<ul><li>(C) Level C Quality Assurance:</li><li>1. Verification of f'm and f'AAC prior to construction and for every 5,000 SF during construction</li></ul>	Periodic
	Υ	N	<ol><li>Verification of proportions of materials in premixed or preblended mortar, prestressing grout, and grout other than self-consolidating grout, as delivered to the project site</li></ol>	Continuous
Each submittal	Υ	N	Verify placement of masonry units     (D) Levels B and C Quality Assurance:	Periodic
Periodic	Υ	N	1. Verification of Slump Flow and Visual Stability Index (VSI) of self-consolidating grout as delivered	Continuous
Continuous Periodic	Υ	N	to the project 2. Verify compliance with approved submittals	Periodic
	Y Y	N N	<ol> <li>Verify proportions of site-mixed mortar, grout and prestressing grout for bonded tendons</li> <li>Verify grade, type, and size of reinforcement and anchor bolts, and prestressing tendons and</li> </ol>	Periodic Periodic
Observe or Perform as noted (4)	•		anchorages	
Observe (4)	Y Y	N N	<ul><li>5. Verify construction of mortar joints</li><li>6. Verify placement of reinforcement, connectors, and prestressing tendons and anchorages</li></ul>	Periodic Level B - Periodic
Observe or Perform as noted (4)	Υ	N	7. Verify grout space prior to grouting	Level C - Continuous Level B - Periodic
· ,	Υ	N	8. Verify placement of grout and prestressing grout for bonded tendons	Level C - Continuous Continuous
Periodic	Υ	N	Verify size and location of structural masonry elements	Periodic
Periodic Periodic	Υ	N	<ol><li>Verify type, size, and location of anchors, including details of anchorage of masonry to structural members, frames, or other construction.</li></ol>	Level B - Periodic Level C - Continuous
Periodic Each submittal (5)	Y Y	N N	<ol> <li>Verify welding of reinforcement (see 1705.2.2)</li> <li>Verify preparation, construction, and protestion of masonry during cold weather (temperature</li> </ol>	Continuous Periodic
Observe or Perform as noted (4)	Υ	N	below 40oF) or hot weather (temperature above 90oF)  13. Verify application and measurement of prestressing force	Continuous
. ,	Ϋ́	N	14. Verify placement of AAC masonry units and construction of thin-bed mortar joints (first 5000 SF of	Continuous
Observe (4)	Υ	N	AAC masonry) 15. Verify placement of AAC masonry units and construction of thin-bed mortar joints (after the first	Level B - Periodic
Periodic Periodic	Υ	N	5000 SF of AAC masonry) 16. Verify properties of thin-bed mortar for AAC masonry (first 5000 SF of AAC masonry)	Level C - Continuous Continuous
Periodic Continuous	Y	N	17. Verify properties of thin-bed mortar forAAC masonry (after the first 5000 SF of AAC masonry)	Level B - Periodic Level C - Continuous
Continuous	Υ	N	18. Prepare grout and mortar specimens	Level B - Periodic
Periodic Perform (4)	Υ	N	19. Observe preparation of prisms	Level C - Continuous Level B - Periodic
Observe or Perform as noted (4)			1705.5 Wood Construction	Level C - Continuous
essente en l'enemi de neteu (1)	Υ	N	Inspection of the fabrication process of wood structural elements and assemblies in accordance with Section 1704.2.5	Periodic
	Υ	N	2. For high-load diaphragms, verify grade and thickness of structural panel sheathing agree with	Periodic
Periodic	Υ	N	approved building plans 3. For high-load diaphragms, verify nominal size of framing members at adjoining panel edges, nail	Periodic
Each submittal			or staple diameter and length, number of fastener lines, and that spacing between fasteners in each line and at edge margins agree with approved building plans	
Periodic	Υ	N	4. Metal-plate-connected wood trusses spanning 60 feet or greater: verify temporary and permanent	Periodic
Periodic			restraint/bracing are installed in accordance with the approved truss submittal package	
Periodic			<ul><li>1705.6 Soils</li><li>1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.</li></ul>	
Periodic	Y	N N	<ol> <li>Verify excavations are extended to proper depth and have reached proper material.</li> <li>Perform classification and testing of controlled fill materials.</li> </ol>	Periodic Periodic
Continuous	Ϋ́	N	4. Verify use of proper materials, densities, and lift thicknesses during placement and compaction of	Periodic
Continuous	Υ	N	controlled fill 5. Prior to placement of controlled fill, observe subgrade and verify that site has been prepared	Continuous
Periodic	Υ	N	properly	Periodic
Periodic	V	N	1705.7 Driven Deep Foundations 1. Verify element materials, sizes and lengths comply with requirements	Continuous
	Ý	N	2. Determine capacities of test elements and conduct additional load tests, as required	Continuous
Periodic.	Y Y	N N	<ul><li>3. Observe driving operations and maintain complete and accurate records for each element</li><li>4. Verify placement locations and plumbness, confirm type and size of hammer, record number of</li></ul>	Continuous Continuous
Periodic Continuous			blows per foot of penetration, determine required penetrations to achieve design capacity, record tip and butt elevations and document any damage to foundation element	
Periodic or as required by the research report issued by an	Y Y	N N	<ul><li>5. For steel elements, perform additional inspections per Section 1705.2</li><li>6. For concrete elements and concrete-filled elements, perform additional inspections per Section</li></ul>	See Section 1705.2 See Section 1705.3
approved source			1705.3	
	Υ	N	<ol><li>For specialty elements, perform additional inspections as determined by the registered design professional in responsible charge</li></ol>	In accordance with construction documen
Periodic Continuous	Υ	N	8. Perform additional inspections and tests in accordance with the construction documents	In accordance with construction documen
Continuous	Υ	N	1705.8 Cast-in-Place Deep Foundations 1.Observe drilling operations and maintain complete and accurate records for each element	Continuous
Periodic	Ϋ́	N	2. Verify placement locations and plumbness, confirm element diameters, bell diameters (if	Continuous
Continuous			applicable), lengths, embedment into bedrock (if applicable) and adequate end-bearing strata capacity. Record concrete or grout volumes	
Continuous	Y Y	N N	<ol> <li>For concrete elements, perform additional inspections in accordance with Section 1705.3</li> <li>Perform additional inspections and tests in accordance with the construction documents</li> </ol>	See Section 1705.3 In accordance with construction documer
In accordance with construction documents In accordance with Section 1705.2	·		1705.9 Helical Pile Foundations	
Periodic	Υ	N	1. Verify installation equipment, pile dimensions, tip elevations, final depth, final installation torque	Continuous
Periodic	Y	N	and other data as required.  2. Perform additional inspections and tests in accordance with the construction documents	In accordance with construction documer
Periodic			1705.10.1 Structural Wood Special Inspections For Wind Resistance	
	Y	N	Inspection of field gluing operations of elements of the main windforce-resisting system	Continuous
	Υ	N	<ol><li>Inspection of nailing, bolting, anchoring and other fastening of components within the main windforce-resisting system</li></ol>	Periodic
			1705.10.2 Cold-formed Steel Special Inspections For Wind Resistance	
	Y Y	N N	1.Inspection during welding operations of elements of the main windforce-resisting system 2.Inspections for screw attachment, bolting, anchoring and other fastening of components within the	Periodic Periodic
	'	IN	main windforce-resisting system	renduic
			1705.10.3 Wind-resisting Components	
	Y Y	N N	Roof cladding     Wall cladding	Periodic Periodic
	Y	N	1705.11.1 Structural Steel Special Inspections for Seismic Resistance	In accordance with AISC 341
	ſ	IN	Inspection of structural steel in accordance with AISC 341	in accordance with AISC 341
		_	1705.11.2 Structural Wood Special Inspections for Seismic Resistance	
	Y Y	N N	<ol> <li>Inspection of field gluing operations of elements of the seismic-force resisting system</li> <li>Inspection of nailing, bolting, anchoring and other fastening of components within the seismic-</li> </ol>	Continuous Periodic
			force-resisting system	
			1705.11.3 Cold-formed Steel Light-Frame Construction Special Inspections for Seismic	
	Υ	N	Resistance 1. Inspection during welding operations of elements of the seismic-force-resisting system	Periodic
				Periodic
	Υ	N	<ol><li>Inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system</li></ol>	1 Griodio

REQUIRED? (Y/N) MATERIAL / ACTIVITY

STEEL MEMBERS, HARDWARE, FASTENERS SHALL BE HOT DIPPED GALVANIZED OR EPOXY PAINTED PER ARCHITECT REQUIREMENTS. ALL CUT, REPAIRED AND EXPOSED SURFACE SHALL BE PAINTED WITH (2) COAT OF 95% ZINC RICH PAINT PER ASTM A780. COLOR TO MATCH EXISTING.

STEEL SHALL CONFORM TO THE FOLLOWING STANDARDS:

TUBE COLUMNS: ASTM A500, GRADE B (Fy = 46 KSI) WIDE FLANGE COLUMNS / BEANASTM 572 GR50 SCHEDULE 40, CONFORMING TO ASTM A53, TYPE E OR S, GRADE B (Fy = 35 KSI.) STEEL PIPE: ALL OTHER STEEL: ASTM A36 (Fy = 36 KSI) OR ASTM A992 ASTM A307 (WOOD/STEEL CONN) BOLTS: ASTM A325/A490 WITH LOCK WASHERS (STEEL/STEEL AND STEEL/CONC CONN) BOLTS: ANCHOR BOLTS: ASTM A307 (WOOD FRAMING) ASTM A325 (STEEL FRAMING) ANCHOR BOLTS:

ALL SLIP CRITICAL CONNECTIONS SHALL BE ASTM A325 BOLTS AND SHALL BE ENGINEER-APPROVED, SELF-LOAD INDICATING TYPES, AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

**EXTENT** 

CONFORM TO THE AWS CODES D1.1 AND D1.3, AND USE ONLY CERTIFIED WELDERS. WELDS NOT SPECIFIED ARE TO BE 1/4" CONTINUOUS FILLET MINIMUM. INCREASE WELD SIZE TO AWS MINIMUM SIZES, BASED ON PLATE THICKNESS. USE DRY E70 ELECTRODES. ALL WELDING SHALL CONFORM TO THE AWS CODES, AND SHALL BE BY CERTIFIED WELDERS. WELDS NOT SPECIFIED SHALL BE 1/4" CONTINUOUS FILLET MINIMUM. USE DRY E70 ELECTRODES.

DRAWING LIST							
SHEET NUMBER	SHEET NAME	ISSUE DATE					
S-0	GENERAL NOTES AND SPECIFICATIONS	01-18-20					
S-1	FRAMING PLAN	01-18-20					
S-2	FRAMING PLAN	01-18-20					
S-3	FRAMING DETAILS	01-18-20					
S-4	S-4 FRAMING DETAILS 01-18-20						
Grand total: 5							

**EXTENT** 



info@b2engineers.com 425-318-7047 (O) 425-318-0031 (C)



**BELADY GARAGE** 

7627 79TH AVE SE, MERCER ISLAND, WA

DRAWING INFO

ISSUED FOR PERMIT

**PROJECT NO. 19207** 

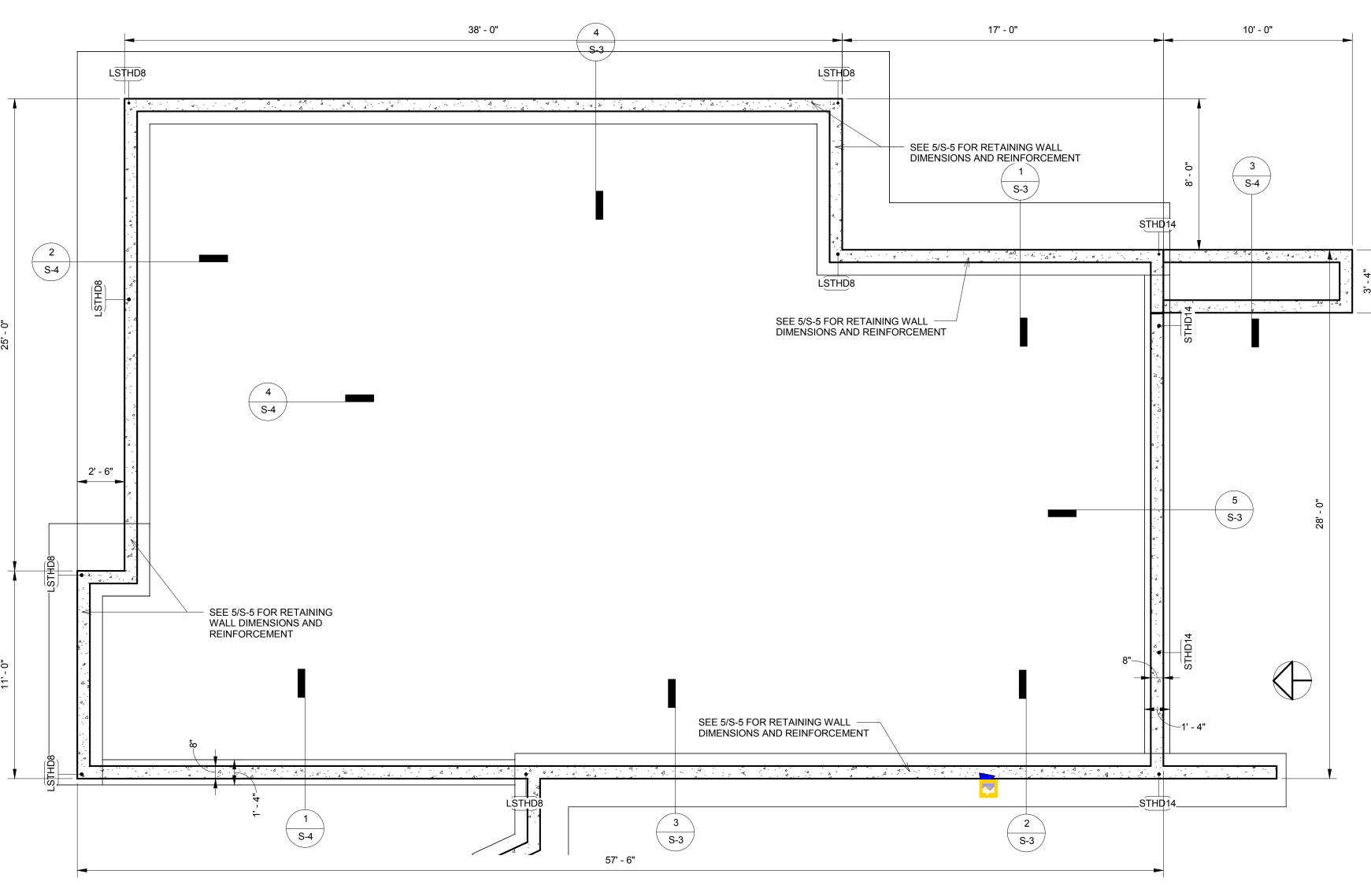
ENGINEER BB

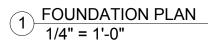
REVISION SCHEDULE

NO. DATE DESCRIPTION

**GENERAL NOTES SPECIFICATIONS** 

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info@b2engineers.com 425-318-7047 (O) 425-318-0031 (C)



BELADY GARAGE

7627 79TH AVE SE, MERCER ISLAND, WA 98040

DRAWING INFO

REVISION SCHEDULE

NO. DATE DESCRIPTION

ISSUE DATE 01-18-20

ISSUED FOR PERMIT

PROJECT NO. 19207

ENGINEER BB

### IMPORTANT NOTES FOR CONTRACTOR:

CONTRACTOR SHALL REVIEW STRUCTURAL DRAWINGS AND FIELD VERIFY ALL RELATED EXISTING FRAMING & DIMENSIONS PRIOR TO ANY FIELD WORK. NOTIFY THE ENGINEER/OWNER ANY DISCREPANCIES FOUND IN THE FIELD. STRUCTURAL DRAWINGS MAY NOT CORRECTLY REFLECT ALL EXISTING FRAMING DUE TO LIMITED ACCESS TO THE SITE AND EXISTING DRAWINGS.

CONTRACTOR SHALL FIELD VERIFY AND NOTIFY THE ENGINEER/OWNER OF EXISTING MECHANICAL DUCTS, PLUMBING PIPES, ELECTRICAL WIRES THAT MAY INTERFERE WITH

### IMPORTANT FOUNDATION AND FRAMING NOTES:

1. ALL FOOTINGS SHALL BEAR ON SUITABLE SOIL SUCH AS MIN. OF MEDIUM DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL (NO SOFT OR ORGANIC MATERIALS). GEOTECHNICAL ENGINEER MAY BE REQUIRED TO ASSESS EXISTING SOIL CONDITIONS.

STRUCTURAL WORKS FOR COST CONSIDERATIONS PRIOR TO ANY FIELD WORK.

2. FOR FRAMING LUMBER TYPES AND GRADES, AND CONCRETE MIX REQUIREMENTS PLEASE SEE S-0

PLEASE SEE S-0
3. FOR PLYWOOD/OSB SHEARWALL SCHEDULE, PLEASE SEE S-5

4. FOR COMMON HEADER FRAMING DETAIL AND HEADER SIZE, SEE S-5 5. PROVIDE (2) 2X6 OR (3) 2X4 STUD POSTS AT EACH END OF BEAMS, UNLESS NOTED OTHERWISE ON PLAN

6. SLAB ON GRADE SHALL BE 4" CONCRETE SLAB WITH #3 AT 18" EACH WAY (MID-DEPTH) ON 6" COMPACTED CRUSHED ROCK. PROVIDE 1" SAWCUT JOINT AT 15

FT MAX. SPACING (EACH WAY)
7. FLOOR SHEATHING SHALL BE 3/4" PLYWOOD OR OSB WITH 10d AT 6" NAILING AT

EDGES AND AT 12" AT FIELD

8. ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR OSB WITH 8d AT 6" NAILING AT

### IMPORTANT NOTES ON TRUSS AND FLOOR FRAMING DESIGN AND SHOP DRAWING:

1. TRUSS FRAMING LAYOUT SHOWN IS GENERAL CONCEPT ONLY. CONTRACTOR/
TRUSS SUPPLIER MUST SUBMIT TRUSS SHOP DRAWINGS INCLUDING TRUSS
TEMPORARY/ PERMANENT BRACING PLANS FOR ENGINEER'S REVIEW
2. TRUSS FRAMING PROFILE/ LAYOUT SHOULD CONFORM TO BOTH STRUCTURAL AND
ARCHITECTURAL DRAWINGS. ANY DEVIATIONS SHALL BE APPROVED BY ENGINEER/

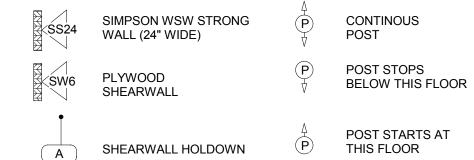
ARCHITECT PRIOR TO TRUSS DESIGN WORK.

3. TRUSS DEFLECTION CRITERIAS:
FLOOR/DECK LIVE LOAD = 1/600

EDGES AND AT 8" AT FIELD

FLOOR/DECK TOTAL LOAD = L/480 ROOF TOTAL LOAD = L/240 FLOOR/DECK LIVE LOAD = L/600 ROOF SNOW LOAD = L/300 \*\* MAXIMUM TOTAL LOAD DEFLECTION SHOULD NOT EXCEED 1.0" IN ALL CASES 4. FLOOR/ROOF FRAMING LAYOUT AND CONNECTORS (SUCH AS LUMBER PACKAGE BY SUPPLIERS) MUST BE SUBMITTED FOR ENGINEER'S REVIEW PRIOR TO CONSTRUCTION

### FRAMING SYMBOLS:

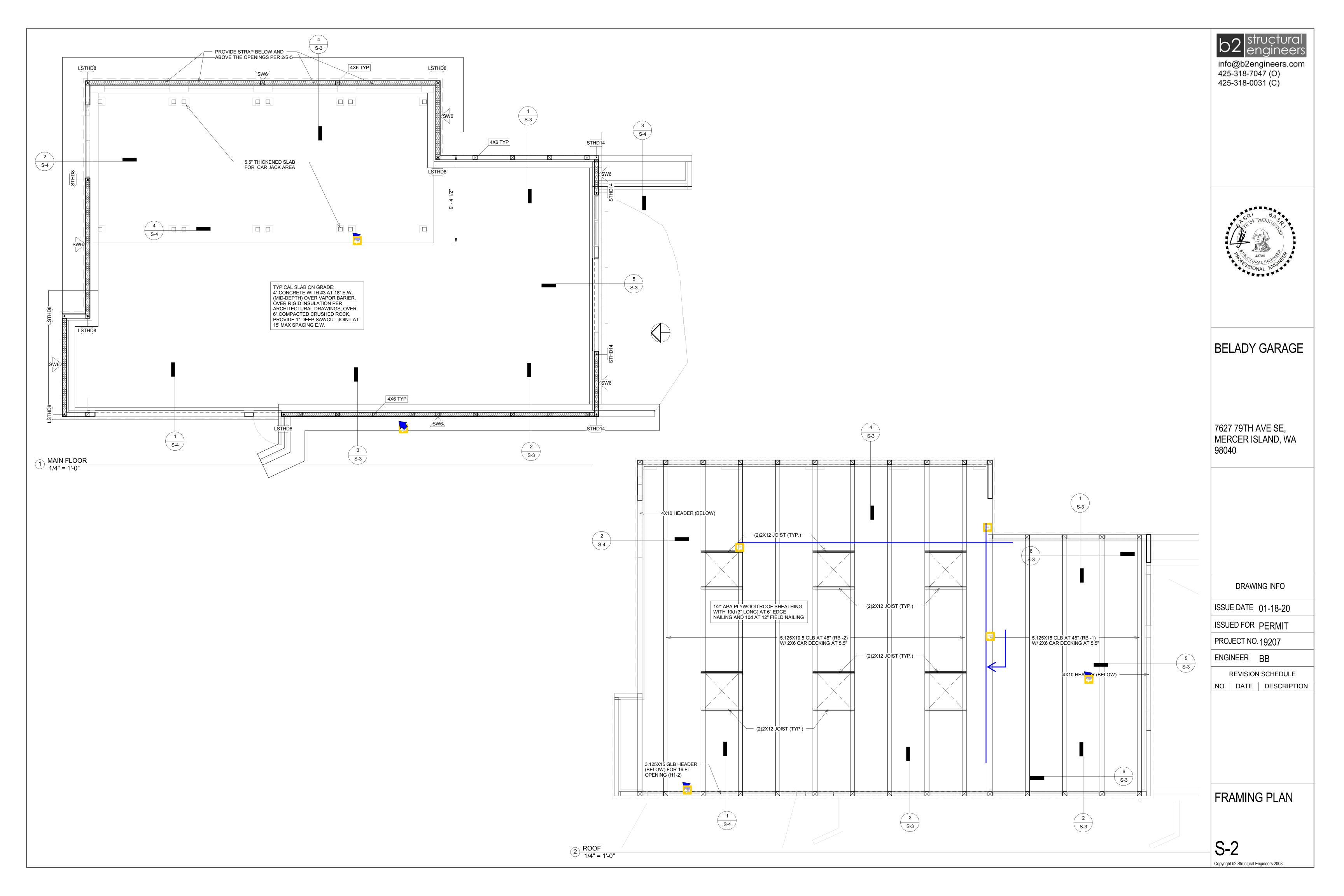


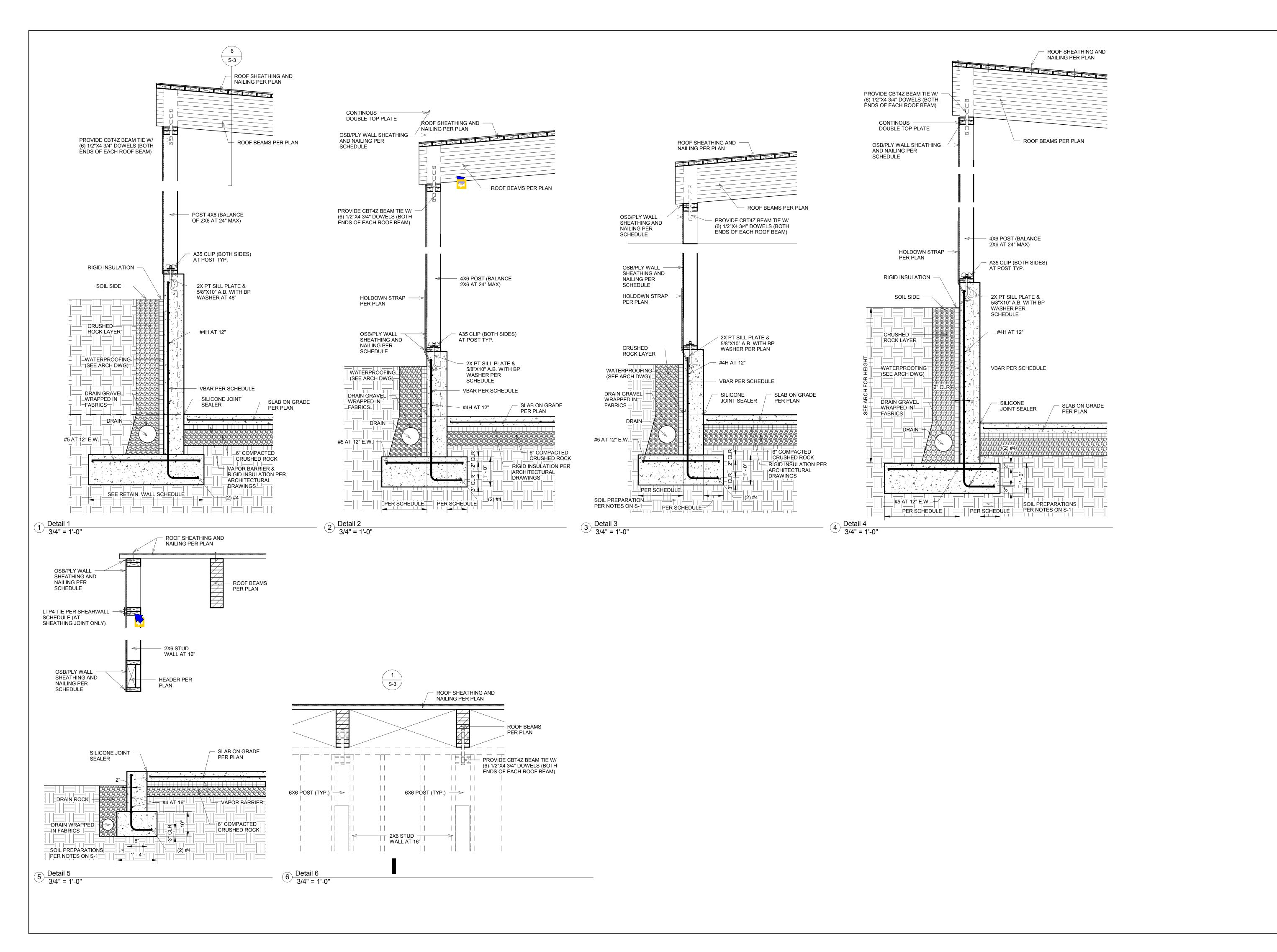
LEGEND AND NOTES

1/4" = 1'-0"

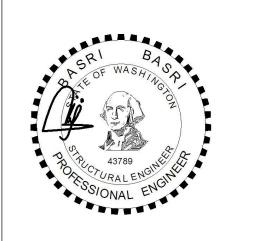
FRAMING PLAN

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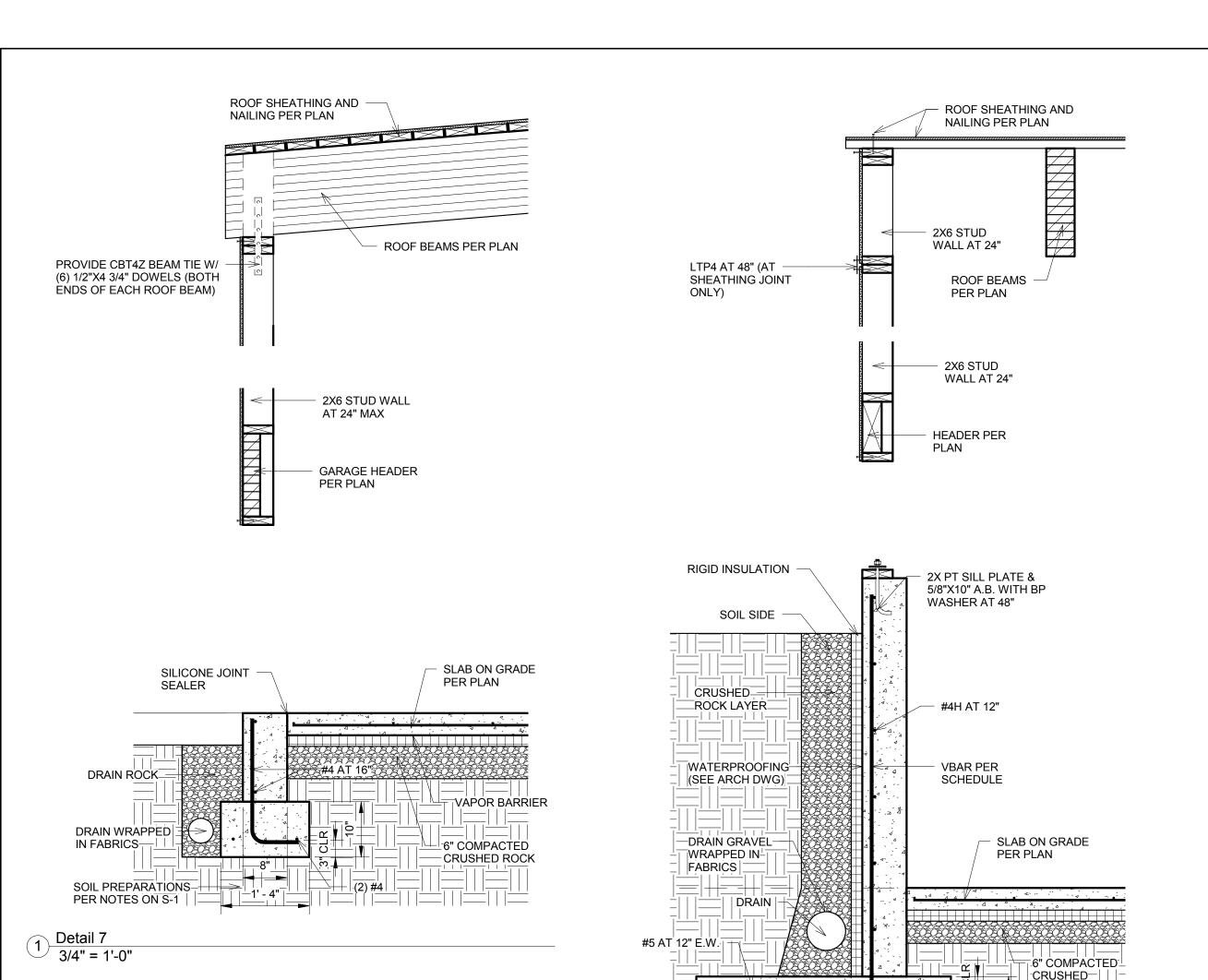
REVISION SCHEDULE

NO. DATE DESCRIPTION

FRAMING DETAILS

S-3

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CONCRETE

PER SCHEDULE

PER NOTES ON S-1 PER SCHEDULE PER SCHEDULE

2x4 TO MATCH AREA OF

STUDS ABOVE

1 TRIMMER AND 2 KING STUD NAILED

7 FT MAX.

OPENING HEADER

4X10 DF #2 U.N.O.

TOGETHER OR POST PER PLAN

EA END

AT STUD/PLATE

(2) 16d END NAIL

(4) 8d TOENAIL OR

CONNECTION, PROVIDE

SOIL PREPARATIONS

-SOLID 2x4 BLKG (VERT GRAIN)

FOOTING (3000 PSI MIN.)

2 Detail 8 3/4" = 1'-0"

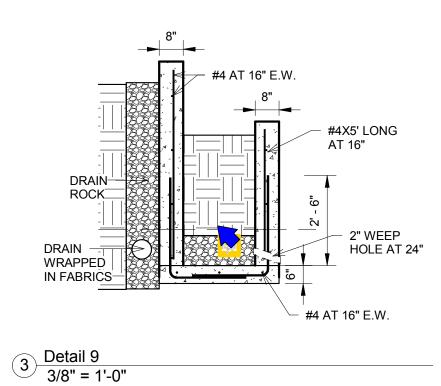
DBL STUD BELOW —

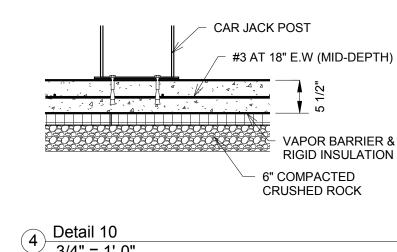
TRIMMER ABOVE

SEE HEADER -SCHEDULE

(2) 2x6 SILL

7 TYP. WALL OPENING FRAMING 3/4" = 1'-0"





<sup>1</sup> 3/4" = 1'-0"

-ROCK-

TYPE	PLYWOOD OR OSB SHEATHING (NOTE 7)	PANEL EDGE NAILING (NOTE 4)	PANEL EDGE STUDS AND BLKG	ANCHOR BOLTS AT SILL PLATE (NOTE 8)	TOP/SILL PLATE TO BLOCKING/ RIM (NOTE 9)	BOTTOM PLATE TO BLOCKING/ RIM (NOTE 4)	CAPACITY (LRFD) (SEISMIC/WIND)
SW6	15/32" PLY/OSB ONE SIDE	10d COM AT 6"	2x	5/8" AT 36" O.C2x	SIMPSON LTP4 AT 24" O.C.	16d COM AT 6" O.CNARROW	496 PLF/ 696 PLF
SW4	15/32" PLY/OSB ONE SIDE	10d COM AT 4"	2x (SEE NOTE 5)	5/8" AT 24" O.C2x	SIMPSON LTP4 AT 16" O.C.	16d COM AT 4" O.CNARROW	736 PLF/ 1032 PLF
SW3	15/32" PLY/OSB ONE SIDE	10d COM AT 3"	3x	5/8" AT 18" O.C2x	SIMPSON LTP4 AT 12" O.C.	16d COM AT 3" O.CWIDE	960 PLF/ 1344 PLF
SW2	15/32" PLY/OSB ONE SIDE	10d COM AT 2"	3x	5/8" AT 12" O.C2x	SIMPSON LTP4 AT 8" O.C.	16d COM AT 2" O.CWIDE	1232 PLF/ 1724 PLF
SW44_	15/32" PLY/OSB TWO SIDES	10d COM AT 4"	2x	5/8" AT 18" O.C3x	SIMPSON LTP4 AT 16" O.C. B.S.	(2) 16d COM AT 4" O.CWIDE_	1472 PLF/ 2064 PLF
SW33	15/32" PLY/OSB TWO SIDES	10d COM AT 3"	3x	5/8" AT 16" O.C3x	SIMPSON LTP4 AT 12" O.C. B.S.	(2) 16d COM AT 3" O.CWIDE	1920 PLF/ 2688 PLF
SW22	15/32" PLY/OSB TWO SIDES	10d COM AT 2"	3x	5/8"AT 12" O.C3x	SIMPSON LTP4 AT 8" O.C. B.S.	(2) 16d COM AT 2" O.CWIDE	2464 PLF/ 3448 PLF

SHEARWALL SCHEDULE NOTES:

SHEARWALL SCHEDULE

<sup>7</sup> 3/4" = 1'-0"

- 1. ALL PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING AT WALLS
- 2. NAIL SHEATHING TO INTERMEDIATE SUPPORTS/ FIELD NAILING 10d AT 12" O.C.
- 3. ALL NAILS INTO 3x MEMBERS SHALL BE STAGGERED.

PROVIDE HOLDOWNS PER PLAN AT EACH END OF WALL, UNO.

- (2)2x STUDS MAY BE USED IN LIEU OF 3x STUDS AT PANEL JOINTS. NÁIL STUDS TOGETHER W/2 ROWS 16d COMMON AT 6" O.C. AT SINGLE SIDE SHEATHING AND NAIL WITH 2 ROWS OF 16d COMMON AT 3" O.C. AT DOUBLE SHEATHED WALLS.
- 4. COM DENOTES COMMON NAILS. MIN. NAIL PENETRATION INTO PLATE, RIM OR BLOCKING SHALL BE 1 5/8". STAGGER BOTTOM PLATE NAILING
- 5. FOR SHEARWALL SW4, ALL FRAMING MEMBERS RECEIVING EDGE NAILINGS FROM ABUTTING PANELS SHALL BE 3X OR (2) 2X NAILED TOGETHER WITH 16d AT 6"
- 6. WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, OFFSET PANEL EDGES TO FALL ON DIFFERENT STUDS 7. PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLAN.
- PROVIDE (2) 2X STUDS AT ENDS OF ALL SHEARWALL. FACE NAIL MULTIPLE STUDS WITH 16d AT 12" PROVIDE PANEL EDGE NAILING IN EACH HOLDOWN STUD AT END OF WALL.
- 8. ALL FOUNDATION SILL PLATES SHALL BE PT MEMBERS AND THE ANCHOR BOLTS SHALL HAVE MIN. OF 7" EMBEDMENT WITH 1/4" x 3" x 3" PLATE WASHER OR SIMPSON'S BP/ BPS PLATE.
- END OF WALL ANCHOR BOLTS SHALL BE LOCATED MAX 12" AND MIN 5" FROM END OF THE PLATE. 9. WHERE NOTED IN DETAILS, USE SIMPSON A35 IN LIEU OF LTP4 PLATES SPACE AT 2/3 OF LTP4 SPACING.
- SSTB16 (5/8"ANCHOR WITH 12 5/8" MIN. EMBED.) 5/8" (12" EMBED WITH SET-XP) HDU4 SB 5/8X 24 (5/8"ANCHOR WITH 18" MIN. EMBED.)
  - 5/8" (14" EMBED WITH SET-XP) 5/8" (16" EMBED WITH SET-XP) SB 5/8X 24 (5/8"ANCHOR WITH 18" MIN. EMBED.) SB 7/8X 24 (7/8"ANCHOR WITH 18" MIN. EMBED.) SB 1X 30 (1" ANCHOR WITH 24" MIN. EMBED.) \* ALL ANCHORS SHALL BE 2.5" MIN.

HDU5 HDU8 HDU11 HDU14 SB 1X 30 (1" ANCHOR WITH 24" MIN. EMBED.) FROM EDGE OF CONCRETE WALL

16d NAILING PER SCHEDULE PANEL EDGE NAILING 10d 2x BOTTOM PLATE SIMPSON STRAP PER PLAN (MIN. OF

48" LONG)

SIMPSON LTP4

OR A35 CLIP

PANEL EDGE

TOP PLATE

REFERENCE

SCHEDULE

PER PLAN AND

PANEL EDGE

NAILING 10d

FOUNDATION

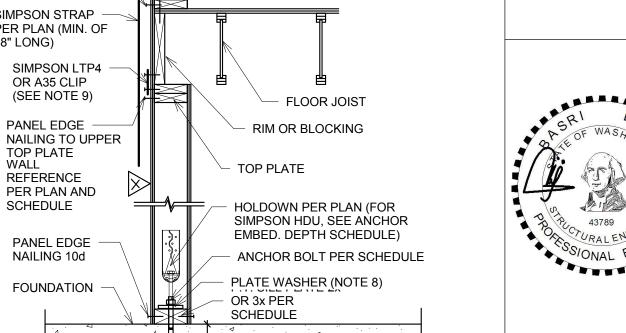
SOIL SIDE

**FABRICS** 

CRUSHED

**ROCK LAYER** 

(SEE NOTE 9)



<sup>⊿</sup>7" EMBED MIN.

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3. THE WALL CONCRETE STRENGTH SHALL BE MIN. 2500 PSI.

PRESSURE. IF RUNNING WATER IS ENCOUNTERED

1. BACKFILL THE WALLS PRIOR TO FRAMING THE

2. THE WALLS ARE <u>NOT</u> DESIGNED FOR WATER

DURING EXCAVATION, PLEASE NOTIFY THE

4. THE FOOTING CONCRETE STRENGTH SHALL BE MIN. 2500 PSI

W2

**IMPORTANT NOTES**:

STRUCTURAL ENGINEER.

FLOOR ABOVE

#4 AT 12" #4X3'X3' AT 12"

#4 AT 12" #5X4'X4' AT 12"

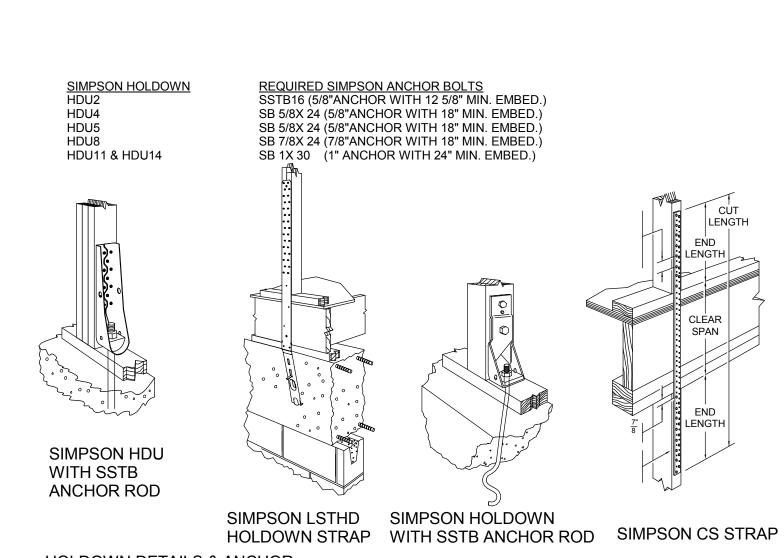
#5 AT 12" #5X6'X6' AT 12"

#5 AT 6" #5X8'X8' AT 6"

5. DO NOT HESITATE TO CALL THE STRUCTURAL ENGINEER AT 425-296-2993 FOR ANY QUESTIONS

**FRAMING DETAILS** 

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HOLDOWN STRAP WITH SSTB ANCHOR ROD SIMPSON CS STRAP

HOLDOWN DETAILS & ANCHOR 8 SCHEDULE 3" = 1'-0"

#4 AT 12" DAMPPROOFING (SEE ARCH DWG) DRAIN GRAVEL WRAPPED IN VBAR -#5 AT 12" E.W. CONCRETE FOOTING (3000 PSI MIN.)

CONCRETE

WALL (4000 PSI

1' - 0"

9 RETAINING WALL SCHEDULE
3/4" = 1'-0"