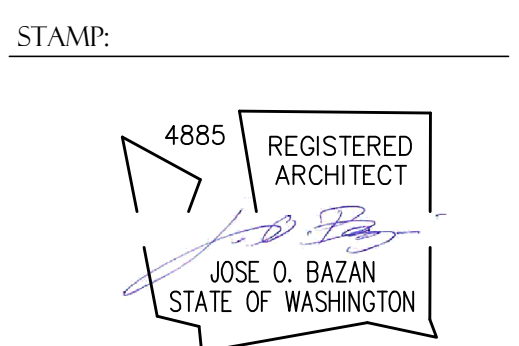


BELADY GARAGE

7627 79TH AVE SE, MERCER ISLAND, WA 98040



PROJECT:
BELADY GARAGE / ACCESSORY BUILDING
 7627 79TH AVE SE
 MERCER ISLAND, WASHINGTON 98040

BAZAN ARCHITECTS
 2000 - 116TH AVENUE NE
 SUITE 4
 BELLEVUE, WA 98004
 PHONE: 425.637.0831
 FAX: 425.637.1878

PERMIT

NOTE:
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 2. NOT A FULL SIZE DRAWING UNLESS PRINTED ON 24"x36" SHEET.

REVISIONS: DATE
 1 CITY UPDATES 07/22/2020

DRAWN BY **SBO**
 CHECKED BY **J. BAZAN**

PROJECT # **18-116**
 SET ISSUE DATE **12.23.2019**

SHEET TITLE

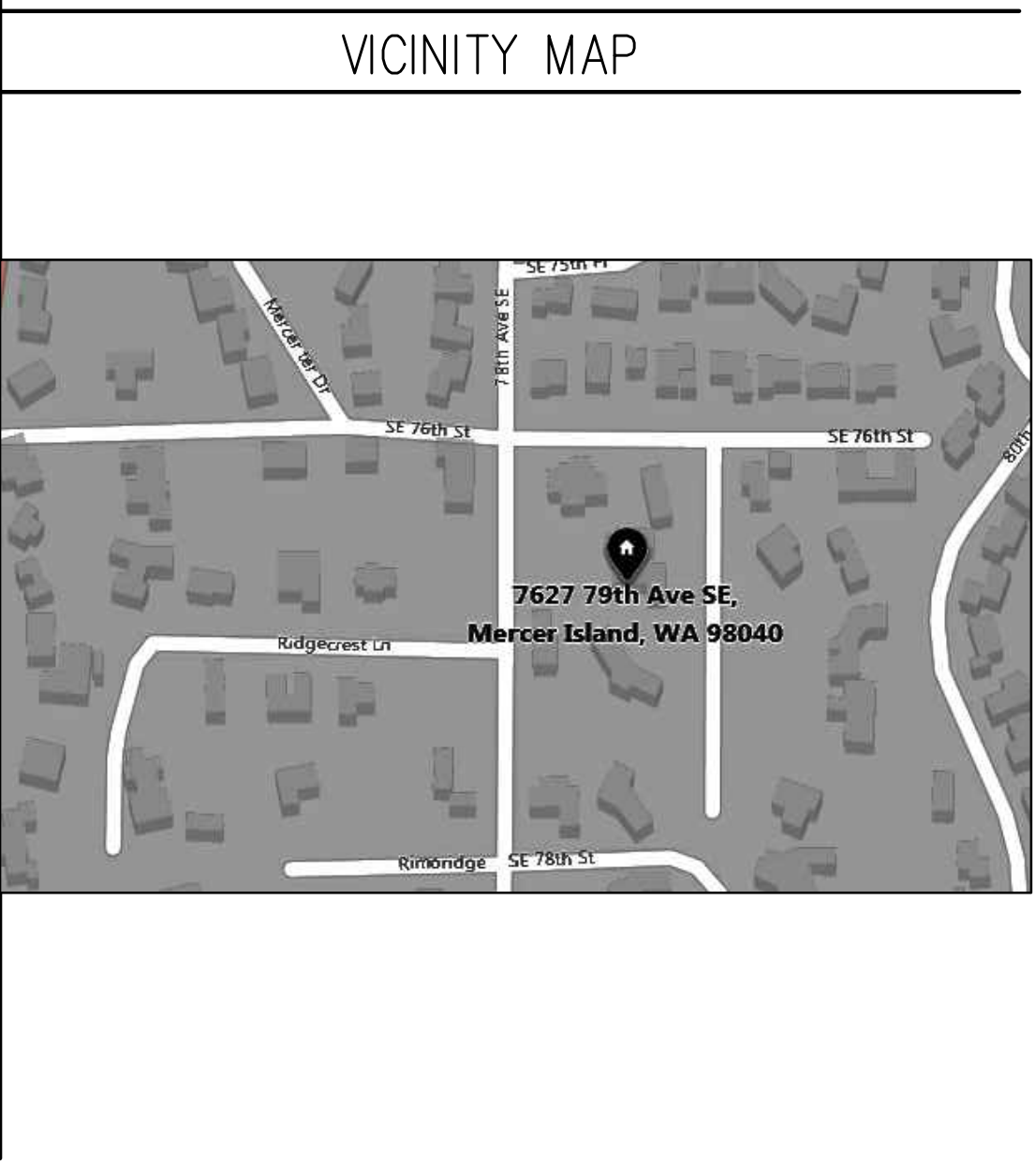
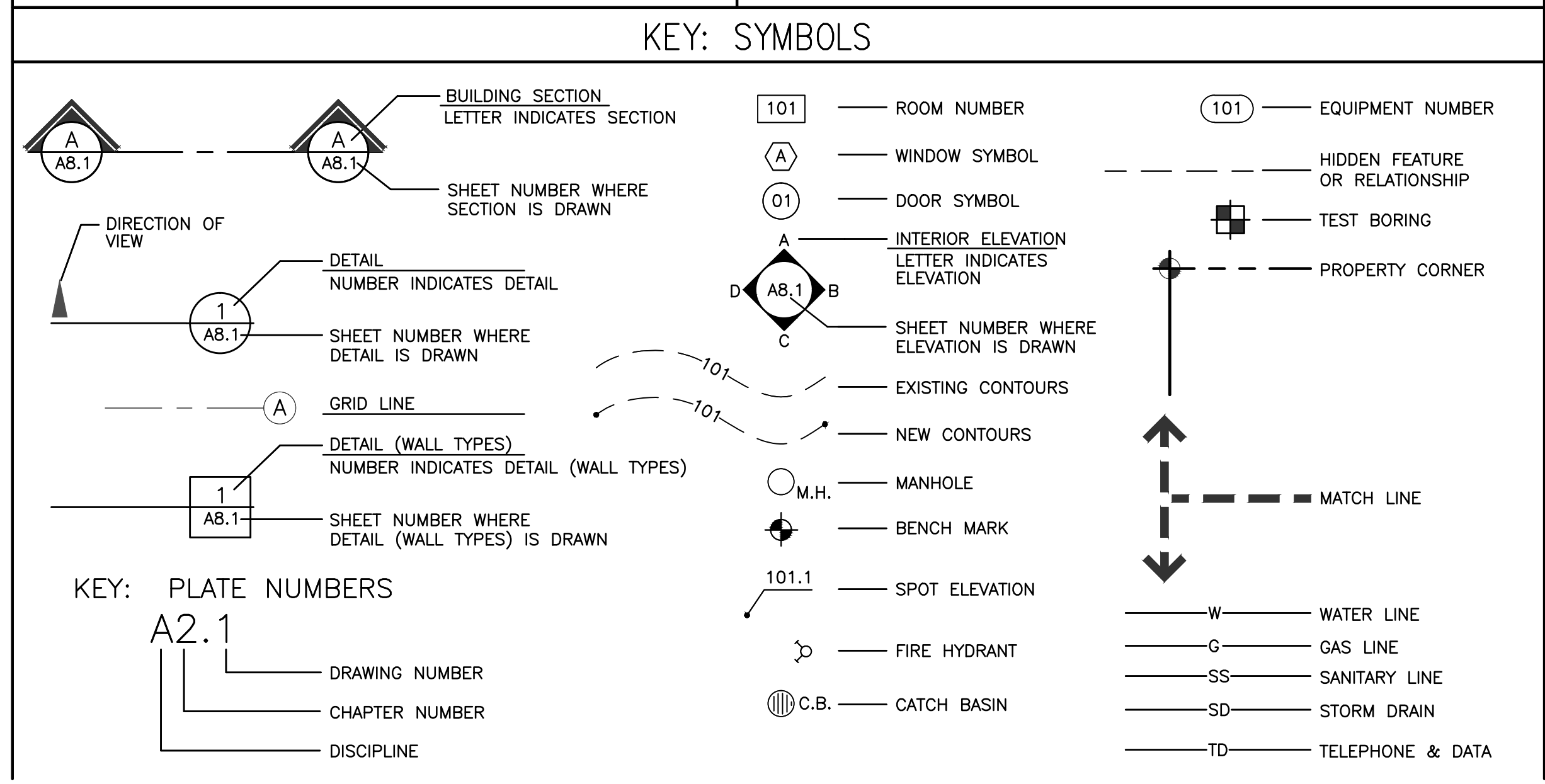
GENERAL

SHEET #

GO.01

| ABBREVIATIONS | | SHEET INDEX | | GENERAL INFORMATION | |
|---------------|--|-----------------|--------------------------------------|---------------------|---|
| AND | ANCHOR BOLT | FDN | FOUNDATION | GO.01 | COVER SHEET |
| AT | APPROVED BY SUBMITAL | F.E. | FIRE EXTINGUISHER | | SITE SURVEY |
| CL | CENTERLINE | F.E.C. | FIRE EXTINGUISHER CABINET | A1.01 | DEMO SITE PLAN |
| Ø | DIAMETER | F.F. | FACTORY FINISH | A1.03 | SITE PLAN, TOTAL LOT COVERAGE CALCULATIONS & IMPERVIOUS SURFACE COVERAGE. |
| d | PENNY | F.F.L. | FINISH FLOOR LINE | A2.01 | FLOOR PLANS, CLERESTORY WINDOW PLANS |
| # | POUND OR NUMBER | F.H.C. | FIRE HOSE CABINET | A2.03 | TRUSS PLANS, ROOF PLANS |
| ∠ | TEE | FIN | FINISH | A3.01 | INTERIOR ELEVATIONS |
| PL | PROPERTY LINE | FL | FLOOR | A4.01 | EXTERIOR ELEVATIONS |
| SQ | SQUARE FEET OR SQUARE FOOTAGE | FLSG | FLASHING | A5.01 | SECTIONS |
| % | PERCENT | FLG | FLOORING | A5.05 | WALL TYPES, DETAILS |
| ± | PLUS OR MINUS | FLUOR | FLUORESCENT | A7.01 | DOOR & WINDOW SCHEDULE |
| AB | ANCHOR BOLT | F.O.C. | FACE OF CONCRETE | E1.01 | LIGHTING PLAN, ELEC. PLAN |
| A.B.S. | APPROVED BY SUBMITAL | F.O.F. | FACE OF FINISH | S-0 | STRUCTURE GENERAL NOTES AND SPECIFICATIONS |
| A.C. | ALTERNATING CURRENT | F.O.M. | FACE OF MASONRY | S-1 | FRAMING PLAN |
| A.C.T. | ACOUSTICAL CEILING TILE | F.O.S. | FACE OF STUD | S-2 | FRAMING PLAN |
| A/C | AIR CONDITION | F.O.SH. | FACE OF SHEATHING | S-3 | FRAMING DETAILS |
| AC | ACOUSTICAL | F.P. | FIRE PROOF | S-4 | FRAMING DETAILS |
| A.D. | AREA DRAIN | FRMG | FRAMING | | |
| A.D.A. | AMERICANS WITH DISABILITIES ACT (GUIDELINES) | FT | FOOT, FEET | | |
| ADJ | ADJUSTABLE | FTG | FOOTING | | |
| ADJT | ADJACENT | FURR | FURRING | | |
| A.F.A. | ABOVE FINISH FLOOR | FUT | FUTURE | | |
| AGGR | AGGREGATE | GA | GAUGE | | |
| AL, ALUM | ALUMINUM | GALV | GALVANIZED | | |
| ALT | ALTERNATE | GB | GRAB BAR | | |
| ANC | ANCHORAGE | GEN | GENERAL | | |
| APPD | APPROVED | G.O.I. | GROUND FAULT INTERRUPTER | | |
| APPROX | APPROXIMATE | G.I. | GALVANIZED IRON | | |
| ARCH | ARCHITECTURAL | GL | GLASS | | |
| ASB | ASBESTOS | G.L.B. | GLUE LAMINATED BEAM | | |
| ASPH | ASPHALT | G.M.U. | GLAZED MASONRY UNIT | | |
| AUTO | AUTOMATIC | GND | GROUND | | |
| AVG | AVERAGE | GR | GRADE | | |
| | | G.W.B. | GYPSPUM WALL BOARD | | |
| | | GYP | GYPSPUM | | |
| BD | BOARD | H | HIGH | | |
| BTW | BETWEEN | HB | HOSE BIBB | | |
| BITUM | BITUMINOUS+ | HC | HOLLOW CORE | | |
| BN | BULL NOSE | HD | HEAD | | |
| BLDG | BUILDING | HDWR | HARDWARE | | |
| BM | BEAM | HDWD | HARDWOOD | | |
| BTM | BOTTOM | HORIZ | HORIZONTAL | | |
| BRG | BEARING | HT | HEIGHT | | |
| BSMT | BASEMENT | HTG | HEATING | | |
| B.U.R. | BUILT UP ROOF | HVAC | HEATING VENTILATION AIR CONDITIONING | | |
| | | H.T.A. | HOT WATER TANK | | |
| C | COURSES | I.B.C. | INTERNATIONAL BUILDING CODE | | |
| CAB | CABINET | I.D. | INSIDE DIAMETER | | |
| CAPL | CAPILLARY | INCL | INCLUDE | | |
| C.B. | CATCH BASIN | INFO | INFORMATION | | |
| CEM | CEMENT | INSUL | INSULATION | | |
| CER | CERAMIC | INT | INTERIOR | | |
| C.F. | CUBIC FOOT | INTERCOM | INTERCOMMUNICATION | | |
| C.F.C.I. | CONTRACTOR FURNISHED CONTRACTOR INSTALLED | IRC | INTERNATIONAL RESIDENTIAL CODE | | |
| | | JAN | JANITOR | | |
| C.G. | CORNER GUARD | JST | JOIST | | |
| C.I. | CAST IRON | JT | JOINT | | |
| C.J. | CONTROL JOINT | KIT | KITCHEN | | |
| CLG | CEILING | L | LENGTH, LONG | | |
| CLG | CAULKING | LAB | LABORATORY | | |
| CLO | CLOSET | LAM | LAMINATE | | |
| CLR | CLEAR | LAV | LAVATORY | | |
| C.M.R. | CONCRETE MASONRY UNIT | LKR | LOCKER | | |
| C.NTR | COUNTER | LL | LIVE LOAD | | |
| CO | CLEANOUT | L.L. | LITE, LEFT | | |
| COL | COLUMN | LV | LOUVER | | |
| COMP | COMPOSITION | MACH | MACHINE | | |
| CONC | CONCRETE | MATL | MATERIAL | | |
| CONN | CONNECTION | MAX | MAXIMUM | | |
| CONST | CONSTRUCTION | MBR | MEMBER | | |
| CONT | CONTINUOUS | MC | MEDICINE CABINET | | |
| CONTR | CONTRACTOR | MECH | MECHANICAL | | |
| CORR | CORRIDOR | MED | MEDIUM | | |
| CPT | CARPET | MEMB | MEMBRANE | | |
| CT | CERAMIC TILE | MEZZ | MEZZANINE | | |
| CTR | CENTER | MFR | MANUFACTURER | | |
| C.Y. | CUBIC YARD | MH | MANHOLE | | |
| | | MIL | MILITARY | | |
| D | DEEP, DEPTH, DEGREE | MIN | MINIMUM | | |
| DBL | DOUBLE | MIR | MIRROR | | |
| D.C. | DIRECT CURRENT | MISC | MISCELLANEOUS | | |
| DEMO | DEMOLISH, DEMOLITION | MK | MARK | | |
| DTL | DETAIL | M.O. | MASONRY OPENING | | |
| DF | DRINKING FOUNTAIN | MT(D) | MOUNTED | | |
| DIA | DIAMETER | MTL | METAL | | |
| DIAG | DIAGONAL | MUL | MULLION | | |
| DIM | DIMENSION | N | NORTH | | |
| DISP | DISPOSAL | NAT | NATURAL | | |
| DIV | DIVISION | N.E.C. | NATIONAL ELECTRIC CODE | | |
| DN | DOWN | NOT IN CONTRACT | NOT IN CONTRACT | | |
| DP | DAMPPOOF | NOM | NOMINAL | | |
| DR | DOOR | NTS | NOT TO SCALE, NOT TO SURE | | |
| DS | DOWNPOUT | OA | OVER-ALL | | |
| D.F. | DRY STANDPIPE | OBS | OBSOLETE | | |
| DW | DISHWASHER | O.C. | ON CENTER | | |
| DWG | DRAWING | O.D. | OUTSIDE DIAMETER | | |
| DWR | DRAWER | OFF | OFFICE | | |
| | | OH | OVERHEAD | | |
| (E) | EXISTING | OPNG | OPENING | | |
| E | EAST | OPP | OPPOSITE | | |
| E.A. | EACH | ORIG | ORIGINAL | | |
| E.I.F.S. | EXTERIOR INSULATION FINISH SYSTEM | OSB | ORIENTED STRAND BOARD | | |
| E.J. | EXPANSION JOINT | PAR | PARALLEL | | |
| EL | ELEVATION | PC | PRECAST | | |
| ELEC | ELECTRICAL | PERF | PERFORATED | | |
| ELEV | ELEVATOR | PERP | PERPENDICULAR | | |
| EMER | EMERGENCY | PLAM | PLASTIC LAMINATE | | |
| ENCL | ENCLOSURE | PL | PLATE | | |
| E.P. | ELECTRICAL PANELBOARD | PLAS | PLASTER | | |
| E.P.D.M. | ETHYLENE-PROPYLENE-DIENE MONOMER | PLBG | PLUMBING | | |
| EQ | EQUAL | PLYWD | PLYWOOD | | |
| EQUIP | EQUIPMENT | PNL | PANEL | | |
| E.W. | EACH WAY | POS | POSITIVE | | |
| E.W.C. | ELECTRIC WATER COOLER | PR | PAIR | | |
| EXC | EXCAVATE | PREFAB | PREFABRICATED | | |
| EXH | EXHAUST | | | | |
| EXIST | EXISTING | | | | |
| EXP | EXPANSION | | | | |
| EXPO | EXPOSED | | | | |
| EXT | EXTERIOR | | | | |
| F.A. | FIRE ALARM | | | | |
| FAB | FABRICATE | | | | |
| FB | FACE BRICK | | | | |
| FD | FLOOR DRAIN | | | | |

| SHEET INDEX | | GENERAL INFORMATION | |
|-------------|---|---|--|
| GO.01 | COVER SHEET | OWNERS' ADDRESS: | CHRISTIAN AND JOAN BELADY 7627 79TH AVE SE MERCER ISLAND, WA 98040 206.979.2210 |
| A1.01 | DEMO SITE PLAN | ARCHITECT: | BAZAN ARCHITECTS, INC. 2000 116TH AVENUE NORTHEAST BELLEVUE, WA 98004 CONTACT: JOSE BAZAN 425.637.0831 |
| A1.03 | SITE PLAN, TOTAL LOT COVERAGE CALCULATIONS & IMPERVIOUS SURFACE COVERAGE. | STRUCTURAL: | B2 ENGINEERS BASRI BASRI PE, SE 425.318.7047 |
| A2.01 | FLOOR PLANS, CLERESTORY WINDOW PLANS | <p style="text-align: center;">PROJECT DESCRIPTION</p> <p>TO REPLACE EXISTING SPORTS COURT WITH A NEW GARAGE (UNHEATED) AND RELATED SITE WORK, ON A SINGLE FAMILY LOT WITH EXISTING HOUSE, GARDEN SHED AND LANDSCAPING.</p> | |
| A2.03 | TRUSS PLANS, ROOF PLANS | | |
| A3.01 | INTERIOR ELEVATIONS | <p style="text-align: center;">NOTES</p> <ol style="list-style-type: none"> CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS ON THE JOB BEFORE PROCEEDING AND SHALL REPORT ANY DISCREPANCIES TO ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING. DIMENSIONS NOTED AS PLUS OR MINUS INDICATE UNVERIFIED DISTANCE BETWEEN EXISTING REFERENCE AND ARE APPROXIMATE. ALL DRAWING CONFLICTS OR CONDITIONS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION. IF CONFLICTS AMONG DRAWINGS SHOULD OCCUR THE LARGER SCALE DRAWING SHALL GOVERN. CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE GOVERNED BY THE SPECIFICATIONS. ALL DIMENSIONS ARE MEASURED TO THE FACE OF STUD, U.N.O. DOOR OPENINGS ARE LOCATED 3" FROM FACE OF WALL TO THE DOOR JAMB, U.N.O. ALL CONSTRUCTION SHALL IN ACCORDANCE WITH THE LATEST EDITION OF STANDARD CODES AND SPECIFICATIONS AS PUBLISHED AND ADOPTED BY THE GOVERNING AUTHORITY. IF A CONFLICT OCCURS BETWEEN THE DRAWINGS AND THE CODES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING WITH GOVERNING CODES. | |
| A4.01 | EXTERIOR ELEVATIONS | | |
| A5.01 | SECTIONS | | |
| A5.05 | WALL TYPES, DETAILS | | |
| A7.01 | DOOR & WINDOW SCHEDULE | | |
| E1.01 | LIGHTING PLAN, ELEC. PLAN | | |
| S-0 | STRUCTURE GENERAL NOTES AND SPECIFICATIONS | | |
| S-1 | FRAMING PLAN | | |
| S-2 | FRAMING PLAN | | |
| S-3 | FRAMING DETAILS | | |
| S-4 | FRAMING DETAILS | | |



STAMP:

4885 REGISTERED ARCHITECT
 JOSE O. BAZAN
 STATE OF WASHINGTON

PROJECT:
BELADY GARAGE / ACCESSORY BUILDING
 7627 79TH AVE SE
 MERCER ISLAND, WASHINGTON 98040

LEGAL DESCRIPTION: THE NORTH 126 FEET OF THE SOUTH 504 FEET OF THE WEST HALF OF THAT PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY WASHINGTON, LYING NORTH OF THE NORTH LINE OF THE SOUTH 10 ACRES OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION;
 EXCEPTING THEREFROM THE EAST 30 FEET THEREOF AS CONVEYED TO THE CITY OF MERCER ISLAND BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 7606070605.

GROSS LOT AREA: 37,548 SQ. FT.
 ZONING: SINGLE FAMILY (RES USE / ZONE)

BUILDING HEIGHT FOR ACCESSORY BUILDING:
 ALLOWABLE: 17.0'
 ACTUAL: 14.8' (10.7' OVER EXISTING GRADE)

IMPERVIOUS AREA:
 NEW GARAGE AREA + DRIVEWAY: 1969 SQ.FT.

PHONE: 425.637.0831
 FAX: 425.637.1878

PERMIT

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REVISIONS: DATE
 1 CITY UPDATES 07/22/2020

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 CHECKED BY **J. BAZAN**

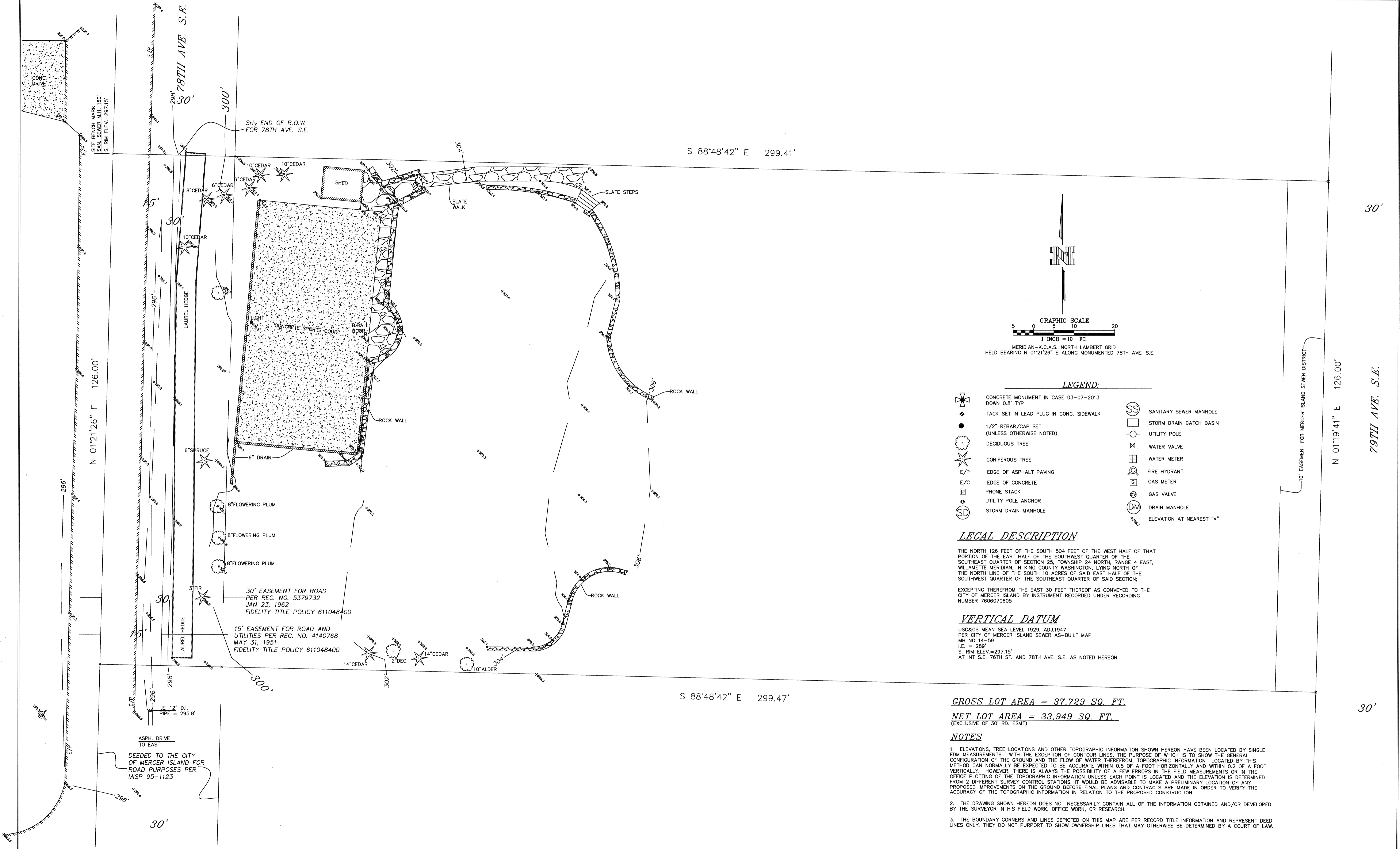
PROJECT # **18-116**
 SET ISSUE DATE **12.23.2019**

SHEET TITLE

GENERAL

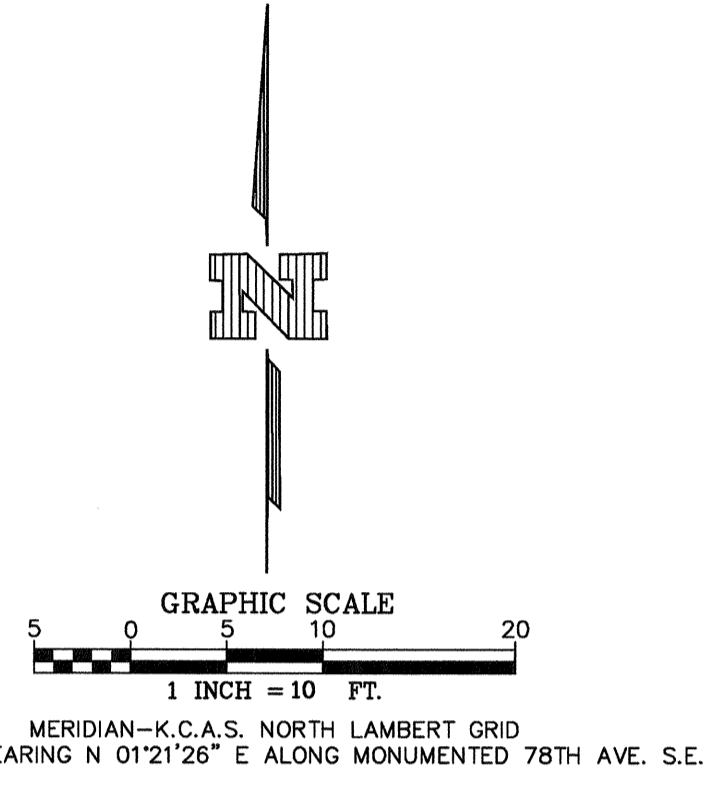
SHEET #

GO.01



S 88°48'42" E 299.41'

S 88°48'42" E 299.47'



LEGEND:

- ✦ CONCRETE MONUMENT IN CASE 03-07-2013 DOWN 0.8' TYP
- ◆ TACK SET IN LEAD PLUG IN CONC. SIDEWALK
- 1/2" REBAR/CAP SET (UNLESS OTHERWISE NOTED)
- DECIDUOUS TREE
- ★ CONIFEROUS TREE
- E/P EDGE OF ASPHALT PAVING
- E/C EDGE OF CONCRETE
- ☐ PHONE STACK
- UTILITY POLE ANCHOR
- SD STORM DRAIN MANHOLE
- SS SANITARY SEWER MANHOLE
- STORM DRAIN CATCH BASIN
- UTILITY POLE
- ⊗ WATER VALVE
- ⊕ WATER METER
- ⊙ FIRE HYDRANT
- ⊠ GAS METER
- ⊕ GAS VALVE
- DM DRAIN MANHOLE
- ⊙ ELEVATION AT NEAREST "x"

LEGAL DESCRIPTION

THE NORTH 126 FEET OF THE SOUTH 504 FEET OF THE WEST HALF OF THAT PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY WASHINGTON, LYING NORTH OF THE NORTH LINE OF THE SOUTH 10 ACRES OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION; EXCEPTING THEREFROM THE EAST 30 FEET THEREOF AS CONVEYED TO THE CITY OF MERCER ISLAND BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 7606070605

VERTICAL DATUM

USC&GS MEAN SEA LEVEL 1929, ADJ.1947
 PER CITY OF MERCER ISLAND SEWER AS-BUILT MAP
 MH NO.14-59
 I.E. = 299'
 S. RIM ELEV.=297.15'
 AT INT S.E. 78TH ST. AND 78TH AVE. S.E. AS NOTED HEREON

GROSS LOT AREA = 37,729 SQ. FT.

NET LOT AREA = 33,949 SQ. FT.
 (EXCLUSIVE OF 30' RD. ESMT)

NOTES

1. ELEVATIONS, TREE LOCATIONS AND OTHER TOPOGRAPHIC INFORMATION SHOWN HEREON HAVE BEEN LOCATED BY SINGLE EDM MEASUREMENTS, WITH THE EXCEPTION OF CONTOUR LINES, THE PURPOSE OF WHICH IS TO SHOW THE GENERAL CONFIGURATION OF THE GROUND AND THE FLOW OF WATER THEREFROM. TOPOGRAPHIC INFORMATION LOCATED BY THIS METHOD CAN NORMALLY BE EXPECTED TO BE ACCURATE WITHIN 0.5 OF A FOOT HORIZONTALLY AND WITHIN 0.2 OF A FOOT VERTICALLY. HOWEVER, THERE IS ALWAYS THE POSSIBILITY OF A FEW ERRORS IN THE FIELD MEASUREMENTS OR IN THE OFFICE PLOTTING OF THE TOPOGRAPHIC INFORMATION UNLESS EACH POINT IS LOCATED AND THE ELEVATION IS DETERMINED FROM 2 DIFFERENT SURVEY CONTROL STATIONS. IT WOULD BE ADVISABLE TO MAKE A PRELIMINARY LOCATION OF ANY PROPOSED IMPROVEMENTS ON THE GROUND BEFORE FINAL PLANS AND CONTRACTS ARE MADE IN ORDER TO VERIFY THE ACCURACY OF THE TOPOGRAPHIC INFORMATION IN RELATION TO THE PROPOSED CONSTRUCTION.
2. THE DRAWING SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED AND/OR DEVELOPED BY THE SURVEYOR IN HIS FIELD WORK, OFFICE WORK, OR RESEARCH.
3. THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE INFORMATION AND REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.

| REVISION | APPR | T.M.M. 10-31-2013 Drawn by | Checked by |
|----------|------|-------------------------------|------------|
| | | | |
| | | | |
| | | | |

Approved by: _____
 Scale: 1"=10'



M. W. MARSHALL
 PROFESSIONAL LAND SURVEYOR

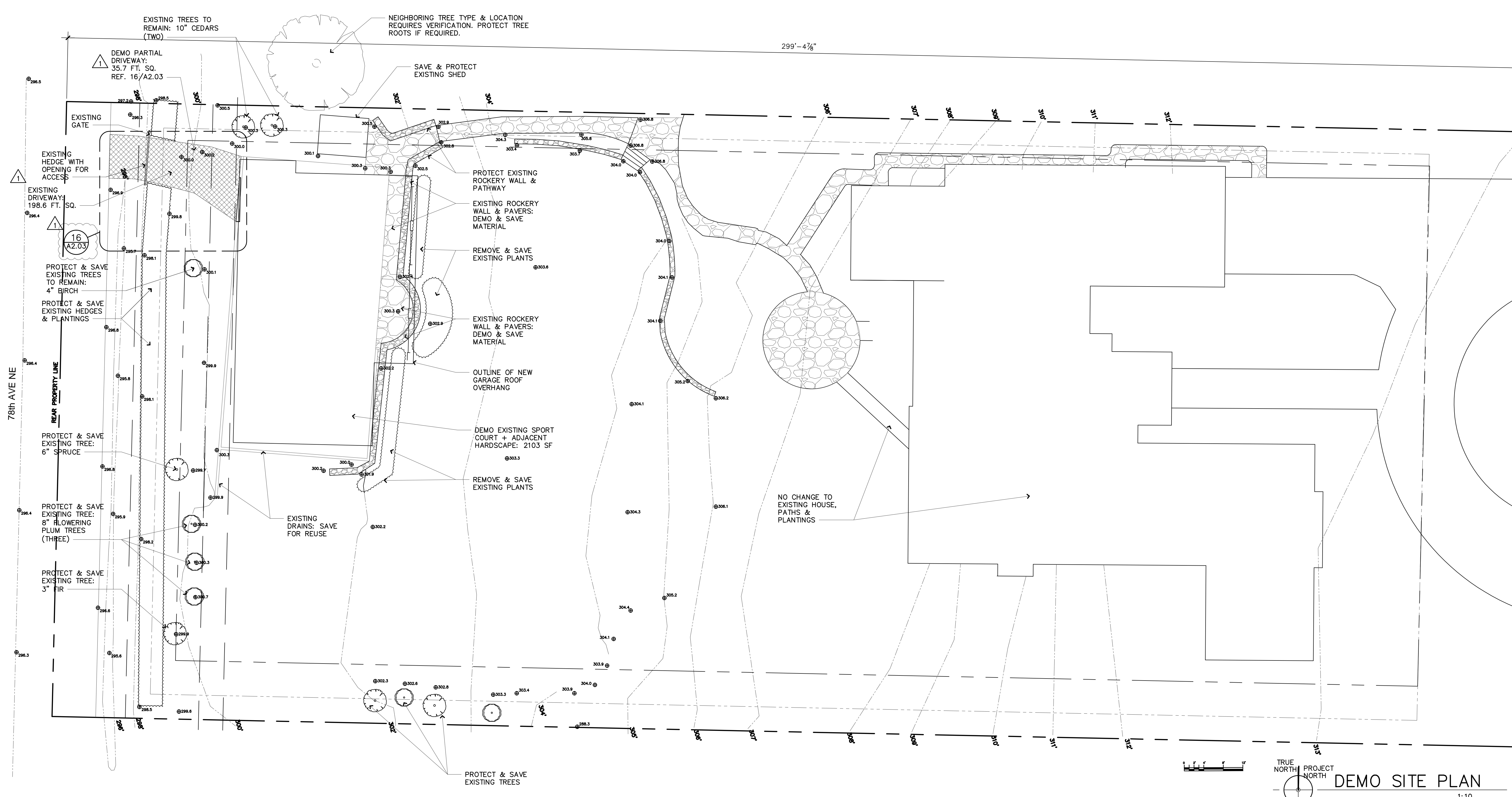
7834 S.E. 32ND ST. MERCER ISLAND, WASHINGTON 98040 TEL: (206) 232 - 5282

BELADY RESIDENCE
 7627 79TH AVE. S.E.
 MERCER ISLAND WA 98040

TOPOGRAPHIC SURVEY
 OF
 A PTN. OF THE SW 1/4 OF THE
 SE 1/4 OF SEC. 25, T.24N.,
 R.4E., W.M.

JOB NUMBER
5001

SHEET 1 OF 1



STAMP:
 4885 REGISTERED ARCHITECT
 JOSE O. BAZAN
 STATE OF WASHINGTON

PROJECT:
BELADY GARAGE/ ACCESSORY BUILDING
 7627 79TH AVE SE
 MERCER ISLAND, WASHINGTON
 98040

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TRUE NORTH PROJECT NORTH
DEMO SITE PLAN
 1:10

GROSS FLOOR AREA (GFA)

| GROSS FLOOR AREA CALCULATIONS | | | | |
|--|---------------|--------------|-------------------|--------------|
| Building Area | Existing Area | Removed Area | New/Addition Area | Total |
| Upper floor | 0 | 0 | 0 | 0 |
| Main floor | 3,389 | 0 | 0 | 3,389 |
| Gross Basement Area | 1,460 | 0 | 0 | 1,460 |
| Garage/Carport | 886 | 0 | 0 | 886 |
| Total Floor Area | 6,735 | 0 | 0 | 6,735 |
| Accessory Buildings | 80 | 0 | 0 | 80 |
| Accessory Dwelling Unit | 0 | 0 | 0 | 0 |
| 2 1/2' & 4" Story Roofed Decks | 0 | 0 | 0 | 0 |
| Basement Area Excluded | 0 | 0 | 0 | 0 |
| 150% GFA modifier* (main and upper floor) | 0 | 0 | 0 | 0 |
| 200% GFA modifier* (main and upper floor) | 0 | 0 | 1,273 | 1,273 |
| Staircase GFA modifier* (2 for a three story staircase, x3 for a four story staircase) | 0 | 0 | 0 | 0 |
| TOTAL Building Area | 6,815 | 0 | 1,273 | 8,088 |

*Enter the actual room area

| | | |
|--|--------|-------------|
| A. Lot Area | 37,729 | Square Feet |
| B. Zone R-2.0 R-4.0 R-6.0 R-15 | 16,822 | Square Feet |
| C. Allowed Gross Floor Area (refer to "allowed GFA") | 13,000 | Square Feet |
| D. Allowed Gross Floor Area | 33 | % of Lot |
| E. Proposed Gross Floor Area | 8,088 | Square Feet |
| F. Proposed Gross Floor Area | 23.2 | % of Lot |

Gross floor area calculations found on Plan Sheet # _____
 Basement exclusion calculations found on Plan Sheet # _____

DRAWN BY **SBO**
 CHECKED BY **J. BAZAN**
 PROJECT # **18-116**
 SET ISSUE DATE: **12.23.2019**
 SHEET TITLE
DEMO SITE PLAN GROSS FLOOR AREA TABLE
 SHEET #

A1.01

STAMP:

4885 REGISTERED ARCHITECT
JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT:

BELADY GARAGE / ACCESSORY BUILDING

7627 79TH AVE SE
MERCER ISLAND, WASHINGTON
98040

BAZAN ARCHITECTS

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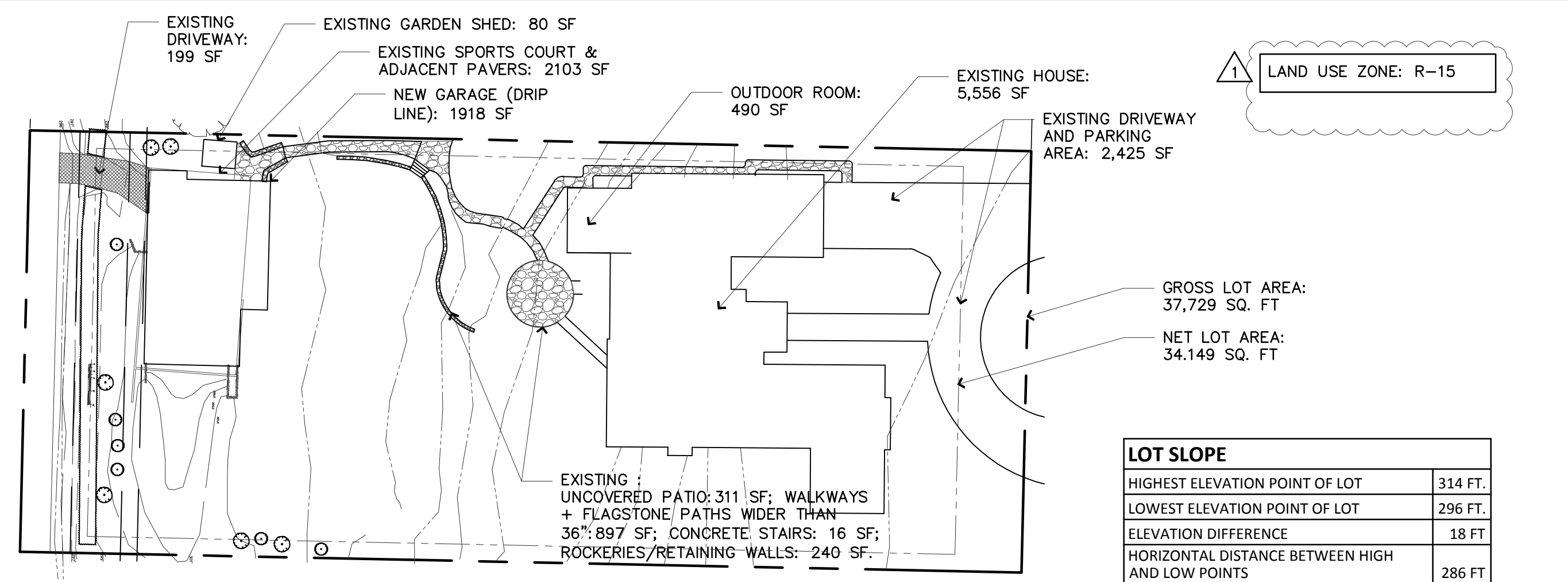
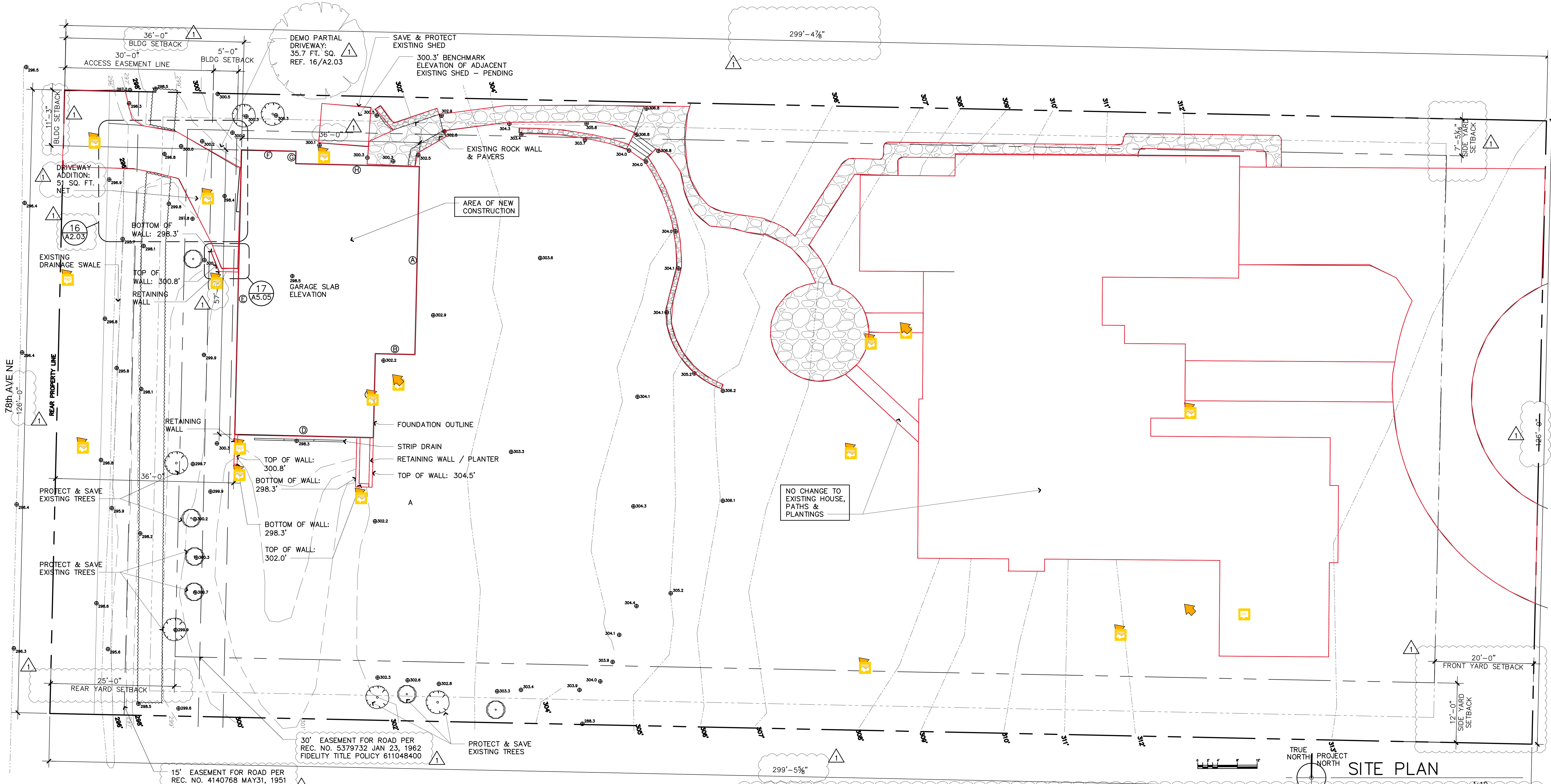
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SET ISSUE DATE: **12.23.2019**

SHEET TITLE
SITE PLAN IMPERVIOUS SURFACE CALCULATION TOTAL LOT COVERAGE + HARDSCAPE CALC.
SHEET #

A1.03



LOT COVERAGE CALCULATION DIAGRAM
NOT TO SCALE

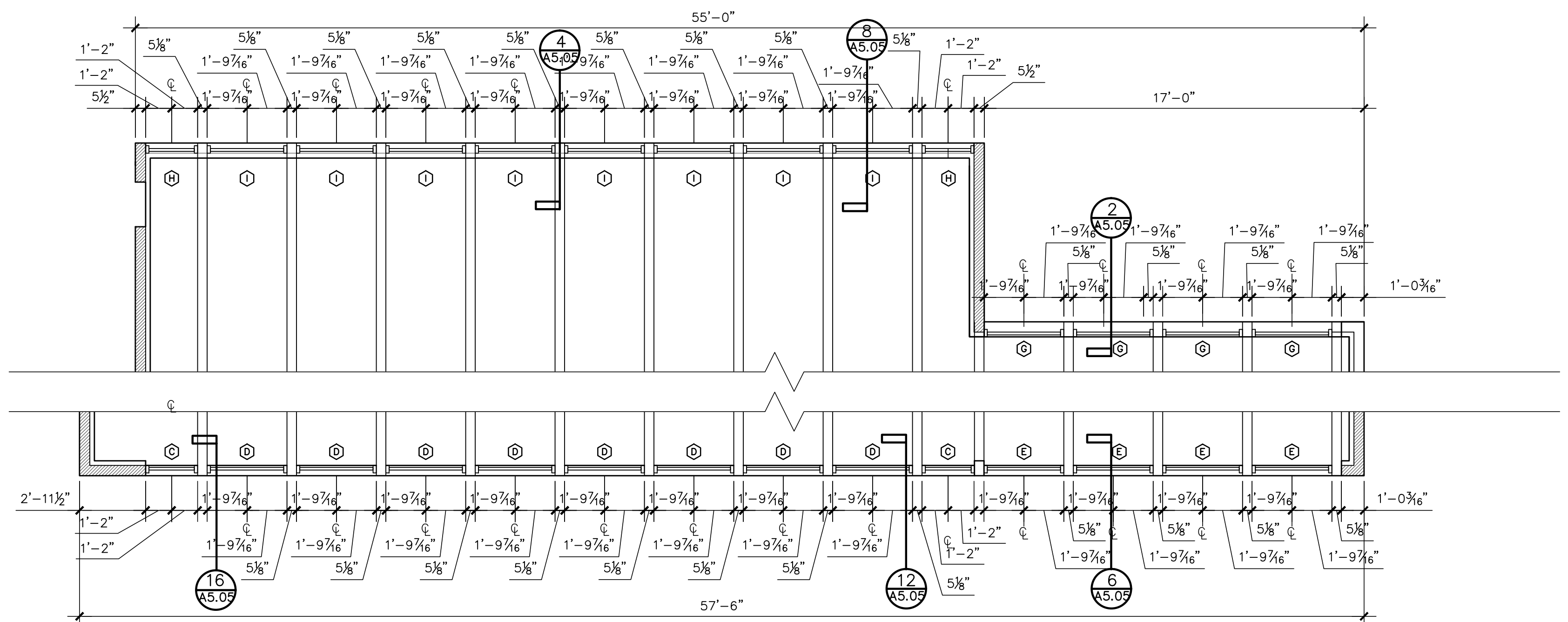
| IMPERVIOUS SURFACE CALCULATION | SQ. FT. |
|--|---------|
| REMOVAL OF SPORTS COURT & ADJACENT PAVERS | 2,103 |
| REMOVAL OF DRIVEWAY - PARTIAL | 36 |
| TOTAL IMPERVIOUS SURFACE REMOVED | 2,139 |
| NEW GARAGE (ROOF DRIP LINE) | 1,918 |
| ADDITIONAL DRIVEWAY AREA | 51 |
| NEW TOTAL IMPERVIOUS SURFACE: | 1,969 |
| NET LOSS OF IMPERVIOUS AREA: 2,139 - 1,969 = | -170 |

NOTE: THE RESULT IS A NET LOSS OF IMPERVIOUS AREA, BECAUSE THE NEW GARAGE/DRIVEWAY TOTAL IMPERVIOUS AREA IS LESS THAN THE EXISTING SPORTS COURT AREA THAT IT IS REPLACING, THERE A NET LOSS OF IMPERVIOUS SURFACE OF 170 SQ. FT. IN ADDITION, THE WEST DRIVEWAY IS EXISTING AND IS NOT INCLUDED IN A NEW IMPERVIOUS SURFACE TOTAL. PART OF THE EXISTING DRIVEWAY IS REMOVED (36 SQ. FT.), AND THE DRIVEWAY IS EXPANDED BY 87 SQ. FT. WITH A NET CHANGE OF 51 SQ. FT. WHICH IS INCLUDED IN THE REVISED IMPERVIOUS SURFACE TOTAL.

| LOT SLOPE | |
|---|---------|
| HIGHEST ELEVATION POINT OF LOT | 314 FT. |
| LOWEST ELEVATION POINT OF LOT | 296 FT. |
| ELEVATION DIFFERENCE | 18 FT. |
| HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS | 286 FT. |
| LOT SLOPE: (18/286) X 100 | 6.3% |

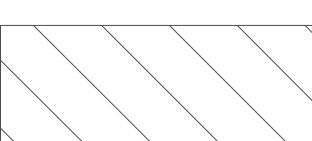
| LOT COVERAGE | SQ. FT. |
|---|---------|
| A. GROSS LOT AREA: | 37,729 |
| B. NET LOT AREA: | 34,149 |
| C. ALLOWED LOT COVERAGE AREA (34,149 X 40%) | 13,659 |
| D. ALLOWED LOT COVERAGE - LOT SLOPE >15% (THEREFORE 40%) | 40% |
| E. EXISTING LOT COVERAGE: | |
| 1. MAIN STRUCTURE ROOF AREA | 5,556 |
| 2. ACCESSORY BUILDING ROOF AREA | 80 |
| 3. VEHICULAR USE - INCLUDING EXISTING DRIVEWAYS ON EAST SIDE (GARAGE DRIVEWAY + CIRCULAR DRIVE = 2425 SF) AND WEST SIDE (OFF 78TH AVE NE = 199 SF) OF LOT | 2,624 |
| 4. COVERED PATIOS AND COVERED DECKS | 490 |
| 5. TOTAL EXISTING LOT COVERAGE AREA (E1 + E2 + E3 + E4) | 8,750 |
| F. TOTAL LOT COVERAGE AREA REMOVED: PARTIAL AREA OF WEST DRIVEWAY REMOVED | 36 |
| G. PROPOSED ADJUSTMENT FOR SINGLE STORY (AREA) | 0 |
| H. PROPOSED ADJUSTMENT FOR FLAG LOT | 0 |
| I. TOTAL NEW LOT COVERAGE AREA: | |
| 1. MAIN STRUCTURE ROOF AREA | 0 |
| 2. ACCESSORY STRUCTURE ROOF AREA - GARAGE | 1,918 |
| 3. VEHICULAR USE - DRIVEWAY ADDITION TO WEST DRIVEWAY (NET) | 51 |
| 4. COVERED PATIOS AND COVERED DECKS | 0 |
| 5. TOTAL NEW LOT COVERAGE (I1 + I2 + I3 + I4) | 1,969 |
| J. TOTAL PROJECT LOT COVERAGE AREA = (E5 - F) + I5 | 10,683 |
| K. PROPOSED LOT COVERAGE AREA = (J/B) X 100 | 31.28% |


| HARDSCAPE CALCULATION | SQ. FT. |
|--|---------|
| A. GROSS LOT AREA | 37,729 |
| B. NET LOT AREA | 34,149 |
| C. AREA BORROWED FROM LOT COVERAGE | 0 |
| D. ALLOWED HARDSCAPE AREA = 9% OF LOT AREA + C | 9% |
| E. ALLOWED HARDSCAPE AREA | 3,073 |
| F. TOTAL EXISTING HARDSCAPE AREA: | |
| 1. UNCOVERED DECKS | 0 |
| 2. UNCOVERED PATIOS | 311 |
| 3. WALKWAYS | 897 |
| 4. STAIRS | 16 |
| 5. ROCKERIES AND RETAINING WALLS | 240 |
| 6. OTHER: SPORTS COURT | 2,103 |
| 7. TOTAL EXISTING HARDSCAPE AREA (F1 + F2 + F3 + F4 + F5 + F6) | 3,567 |
| G. TOTAL HARDSCAPE AREA REMOVED | 2,103 |
| H. TOTAL NEW HARDSCAPE AREA: | |
| 1. UNCOVERED DECKS | 0 |
| 2. UNCOVERED PATIOS | 0 |
| 3. WALKWAYS | 0 |
| 4. STAIRS | 0 |
| 5. ROCKERIES AND RETAINING WALLS | 0 |
| 6. OTHER: SPORTS COURT | 0 |
| 7. TOTAL EXISTING HARDSCAPE AREA (H1 + H2 + H3 + H4 + H5 + H6) | 0 |
| I. TOTAL PROJECT HARDSCAPE AREA = (F7 - G) + H7 | 1,464 |
| J. TOTAL PROJECT HARDSCAPE AREA = (I/B) X 100 | 4.3% |

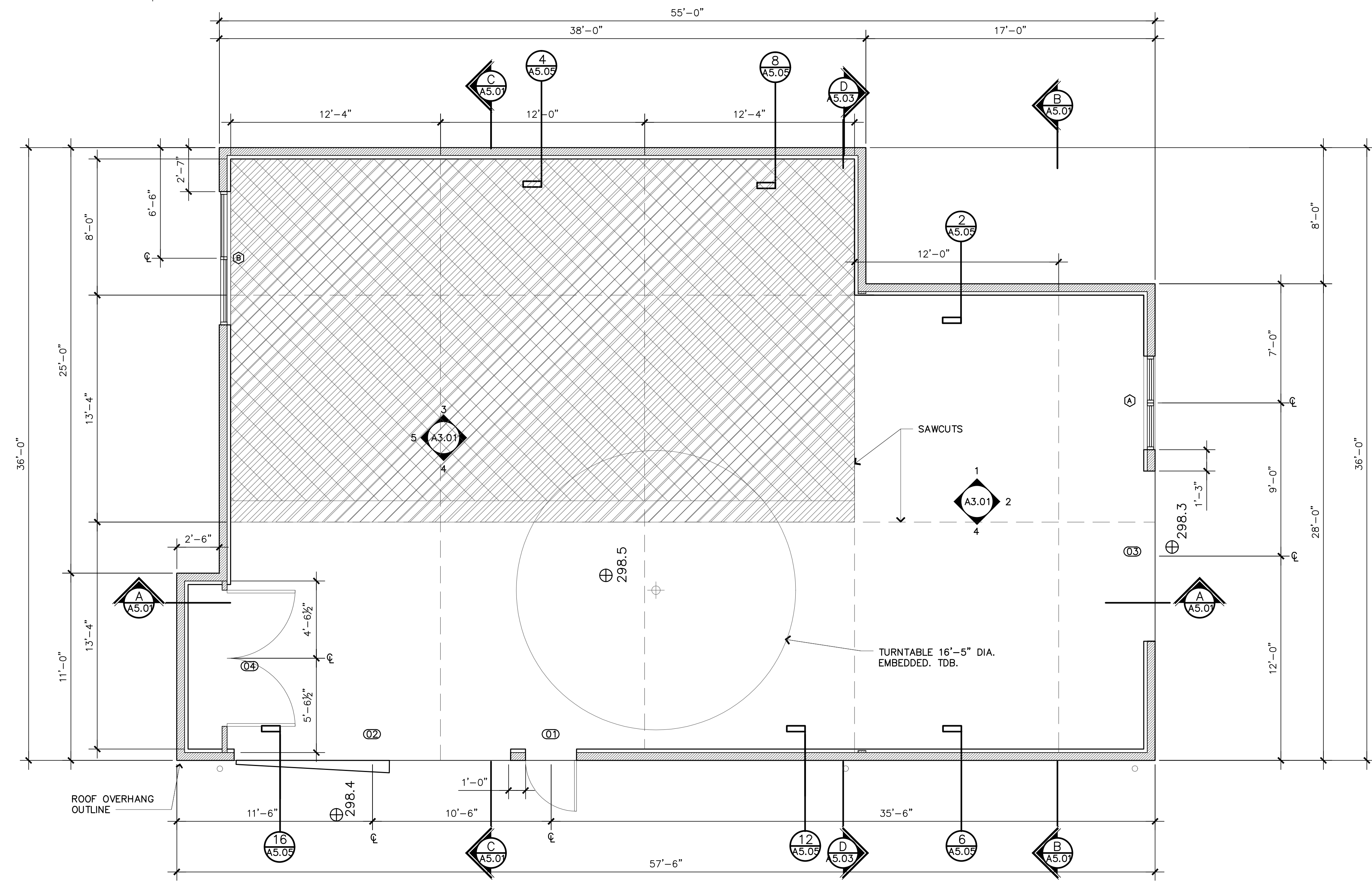


CLERESTORY WINDOW PLAN
1/4" = 1'-0"

KEY:

 AREA WITH CEILING HEIGHT GREATER THAN 12' BUT LESS THAN 16'

 AREA OF THICKER SLAB REFER TO STRUCTURAL DRAWINGS



FLOOR PLAN
1/4" = 1'-0"

STAMP:
4885 REGISTERED ARCHITECT
JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT:
BELADY GARAGE / ACCESSORY BUILDING
7627 79TH AVE SE
MERCER ISLAND, WASHINGTON 98040

BAZAN ARCHITECTS
2000 - 116TH AVENUE NE
SUITE 4
BELLEVUE, WA 98004
PHONE: 425.637.0831
FAX: 425.637.1878

PERMIT

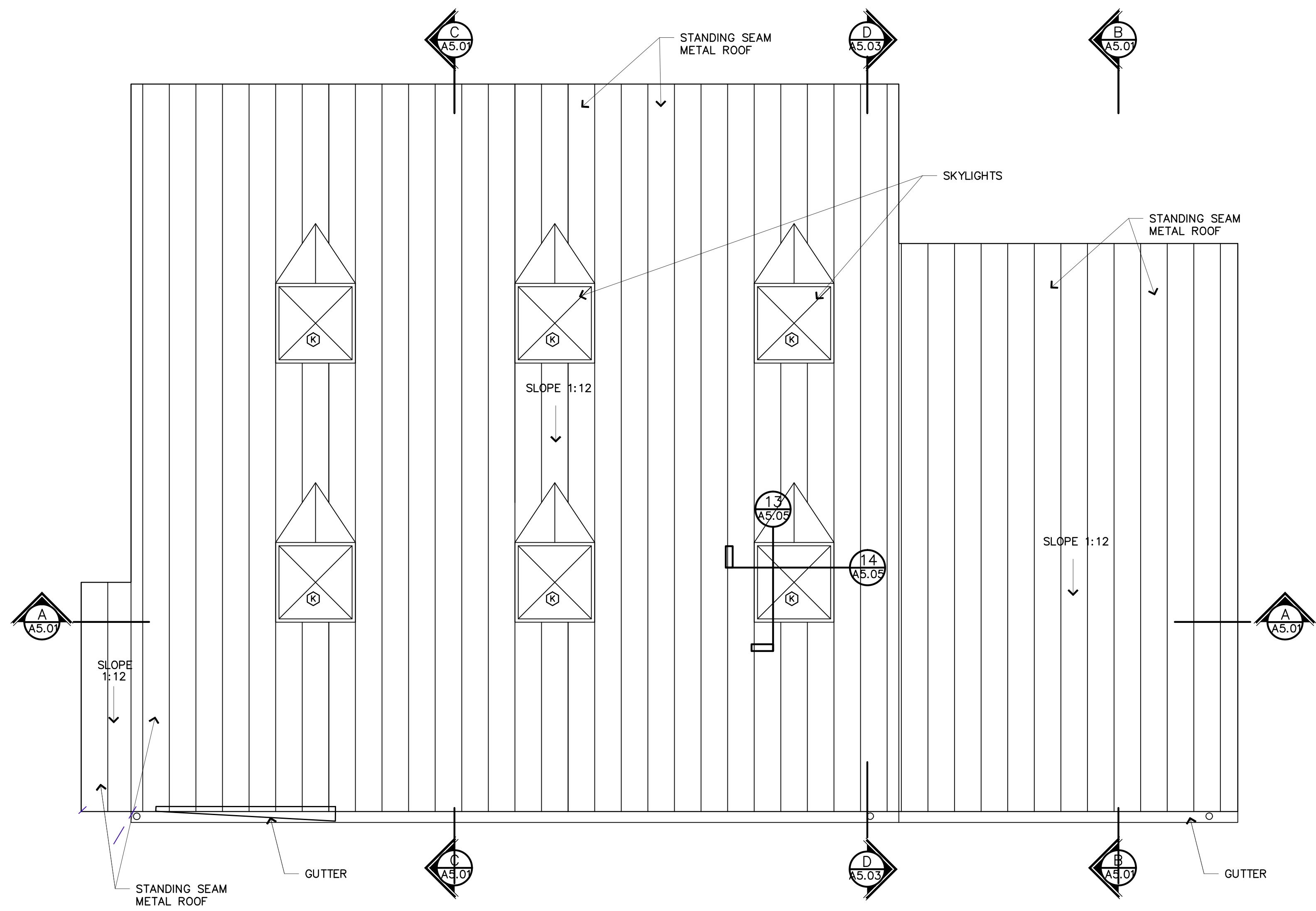
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2. NOT A FULL SIZE DRAWING UNLESS PRINTED ON 24"x36" SHEET.

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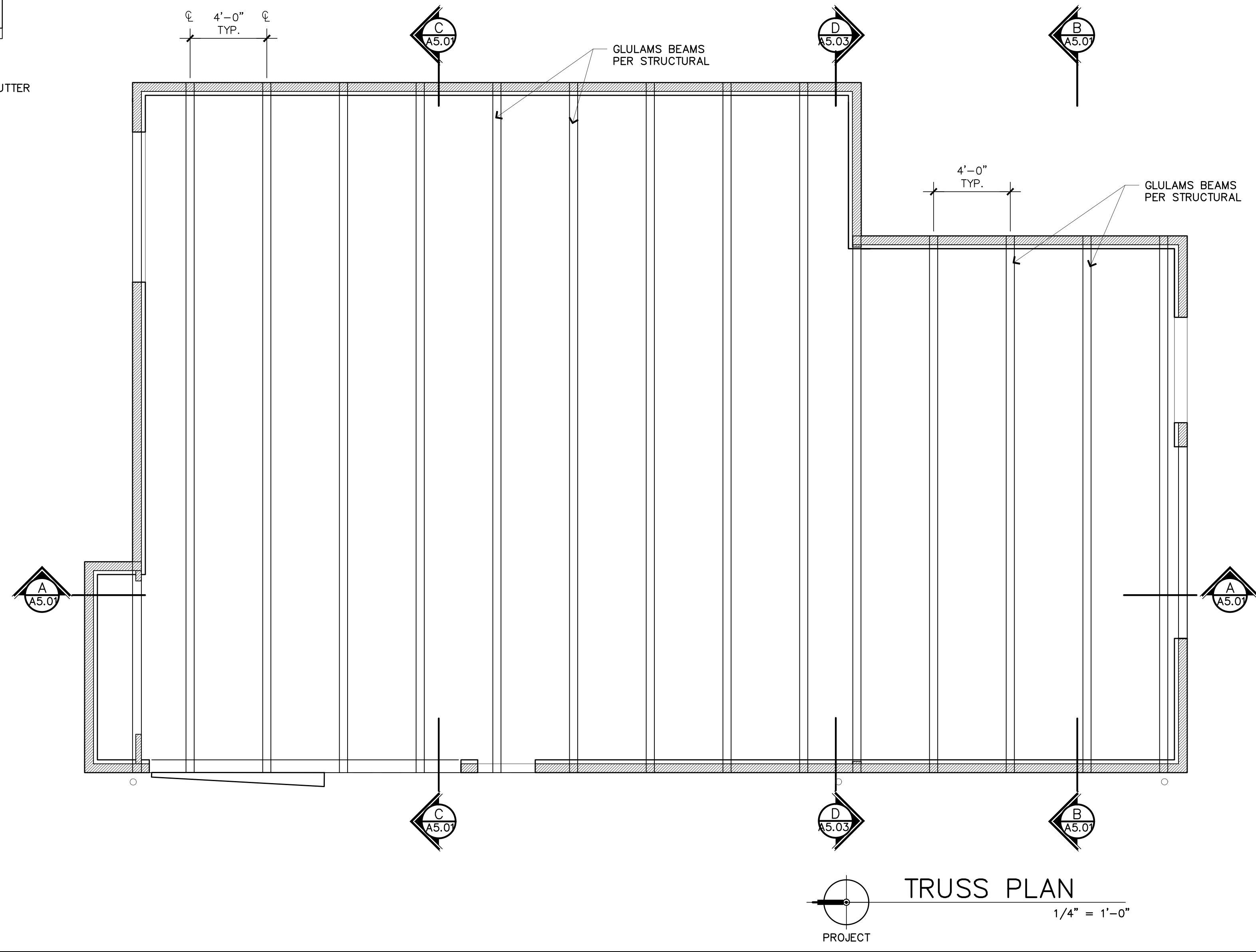
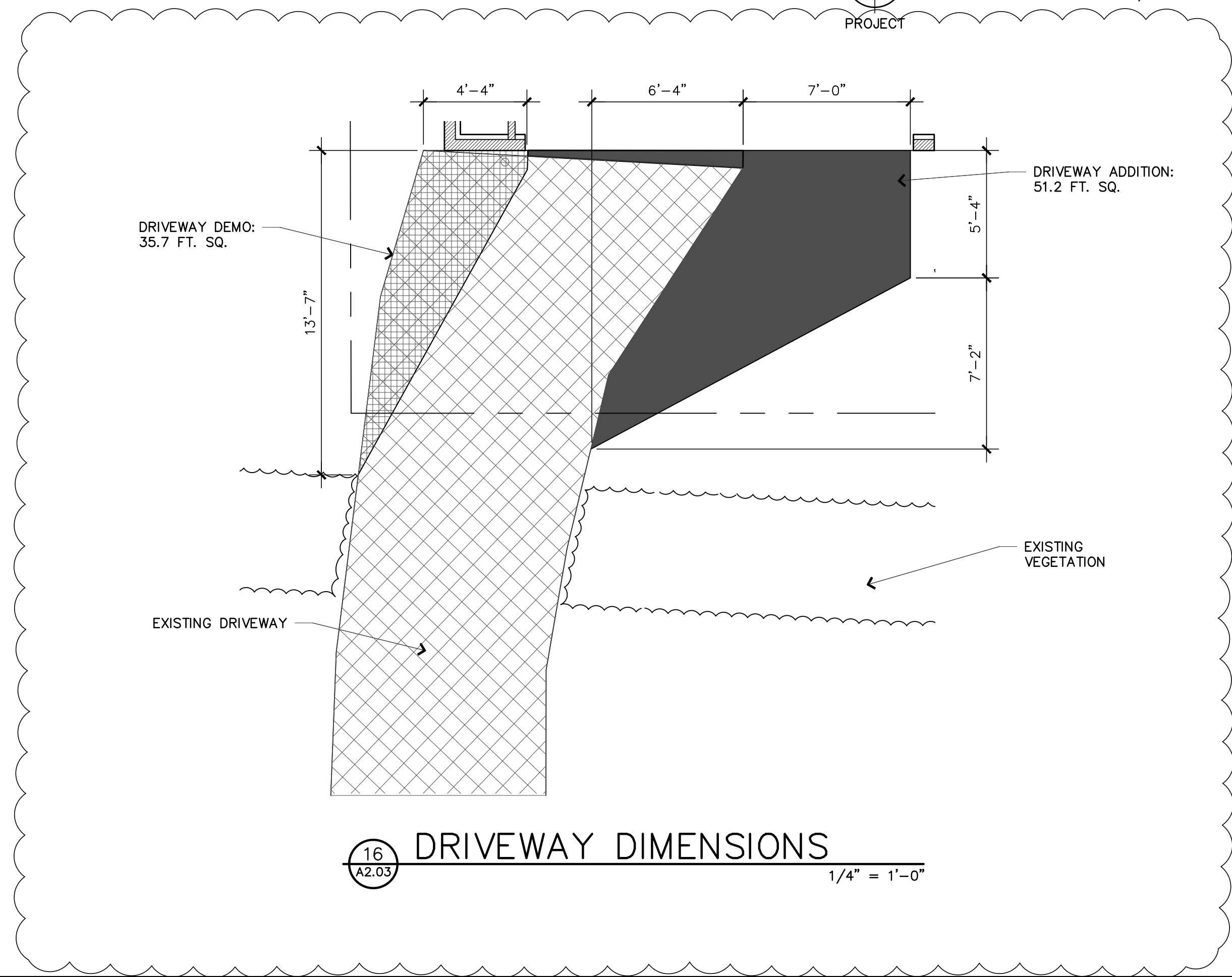
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CHECKED BY **J. BAZAN**
PROJECT # **18-116**
SET ISSUE DATE: **12.23.2019**

SHEET TITLE
FLOOR PLAN + CLERESTORY WINDOW PLAN
SHEET #

A2.01



ROOF PLAN
1/4" = 1'-0"



STAMP:
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JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT:
BELADY GARAGE / ACCESSORY BUILDING
7627 79TH AVE SE
MERCER ISLAND, WASHINGTON 98040

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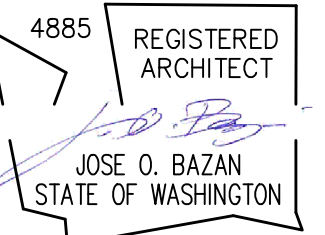
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PROJECT #: **18-116**
SET ISSUE DATE: **12.23.2019**
SHEET TITLE: **ROOF PLAN TRUSS PLAN**

SHEET #
A2.03

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PROJECT:

BELADY GARAGE / ACCESSORY BUILDING

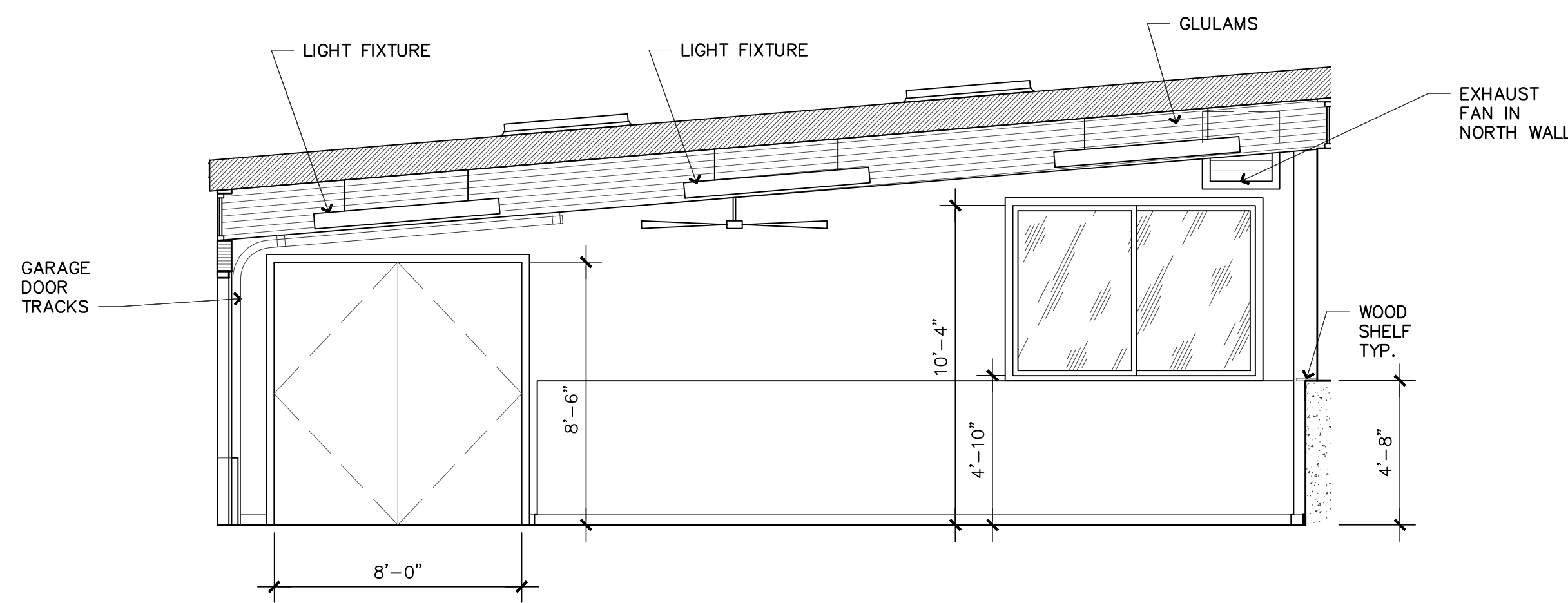
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BAZAN ARCHITECTS

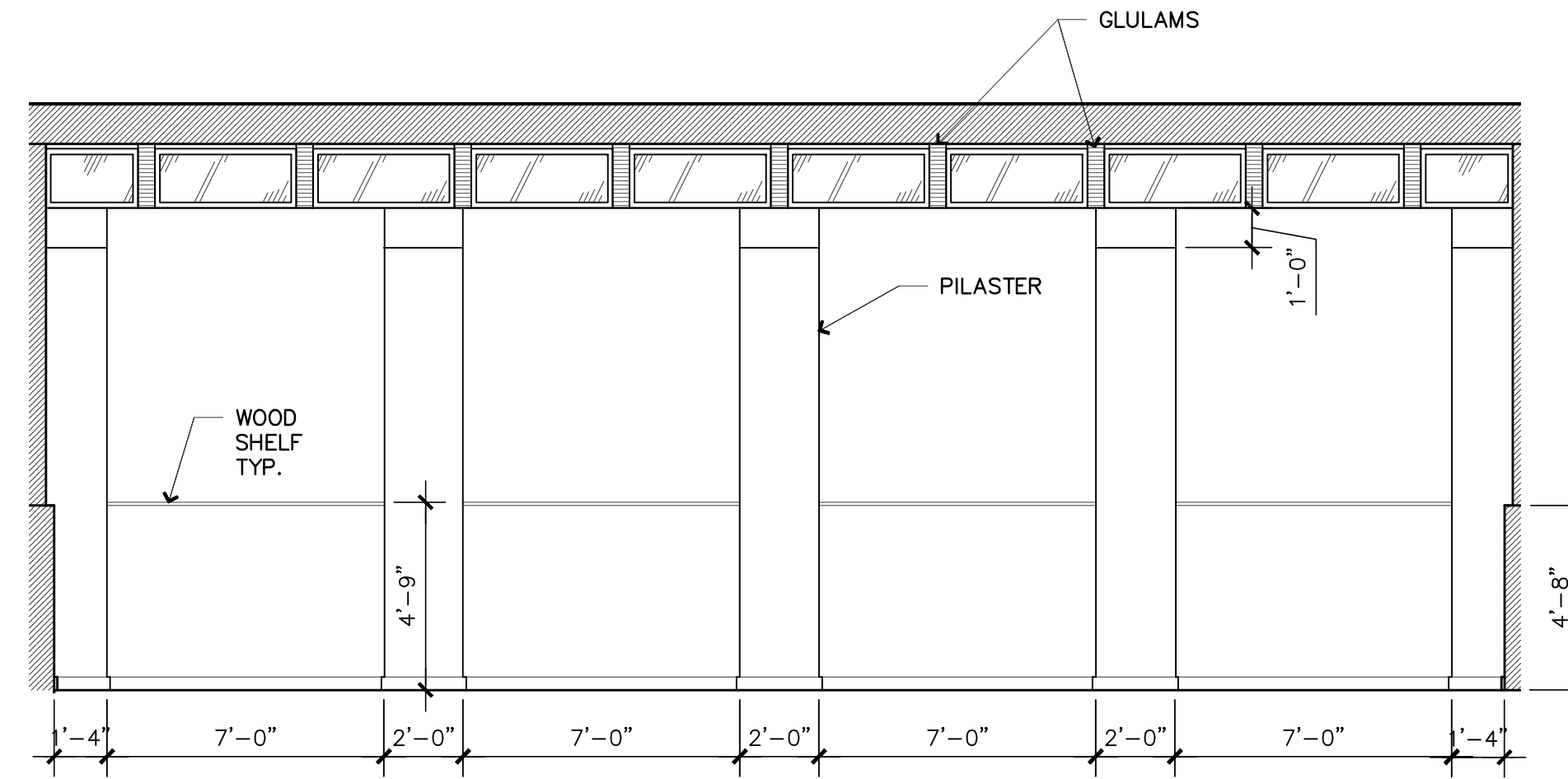
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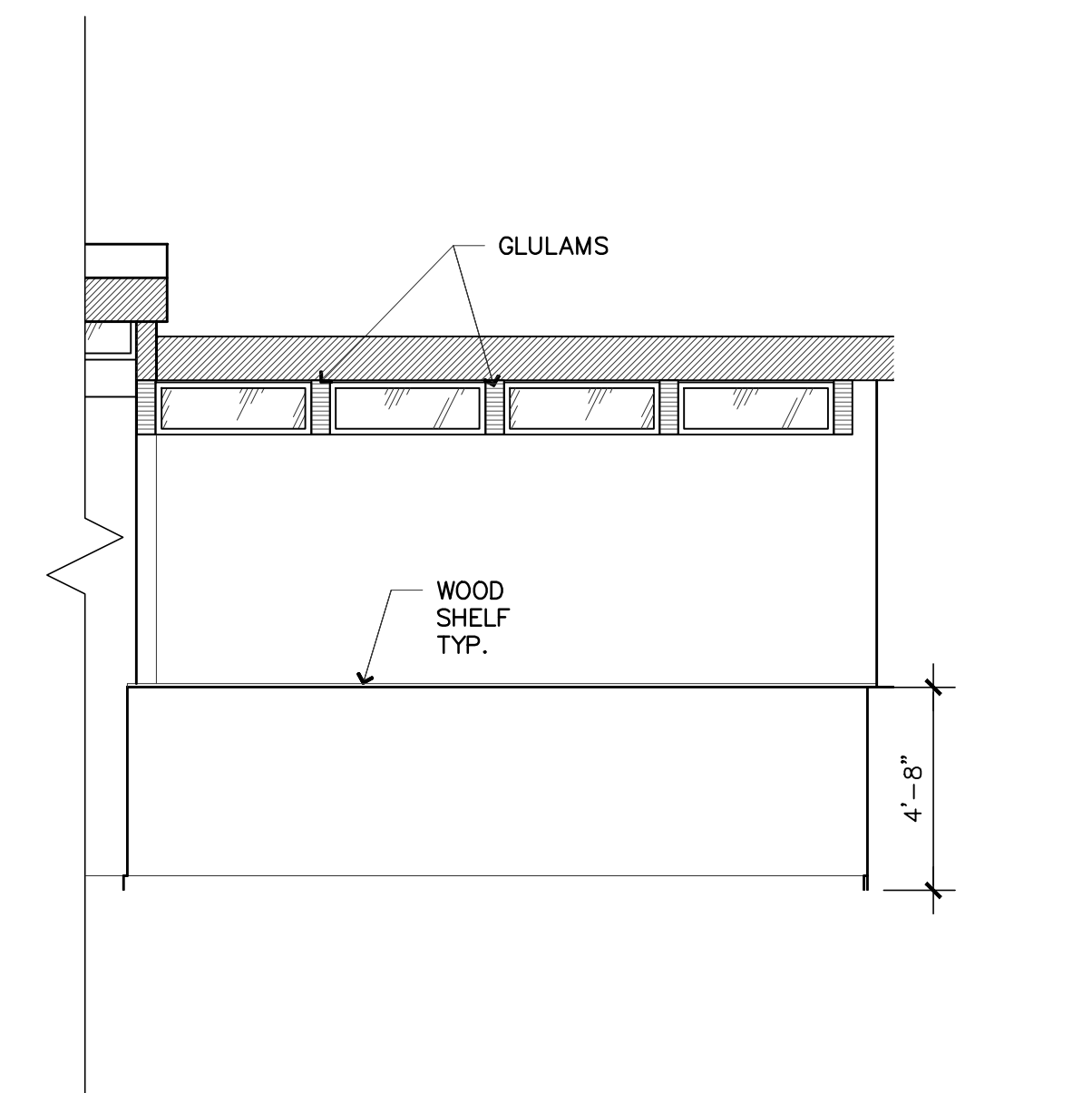
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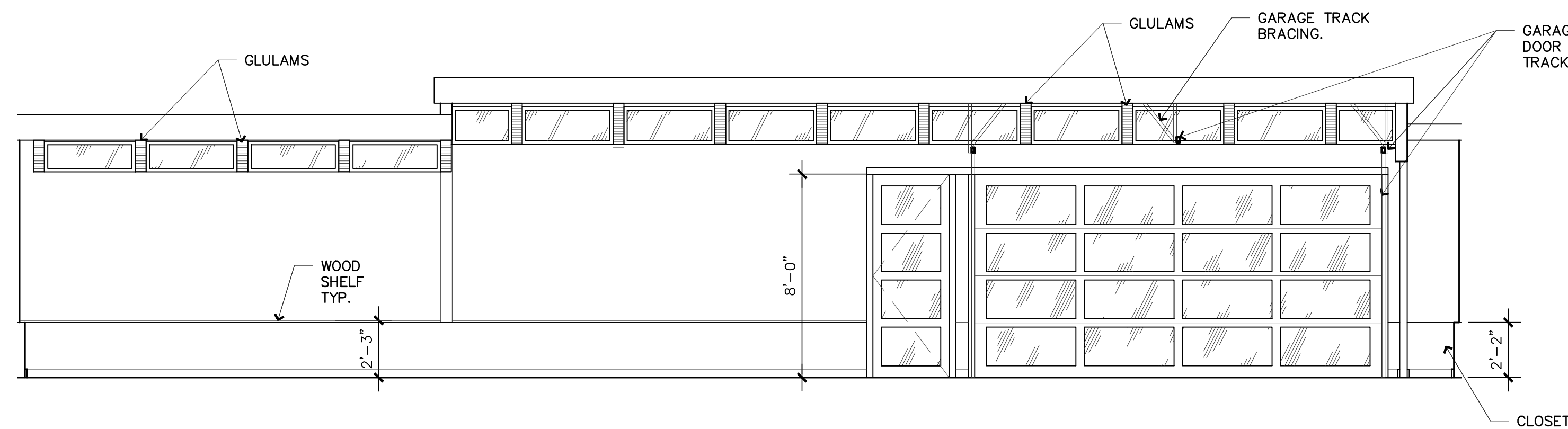
5 INTERIOR ELEVATION
A3.01 1/4" = 1'-0"



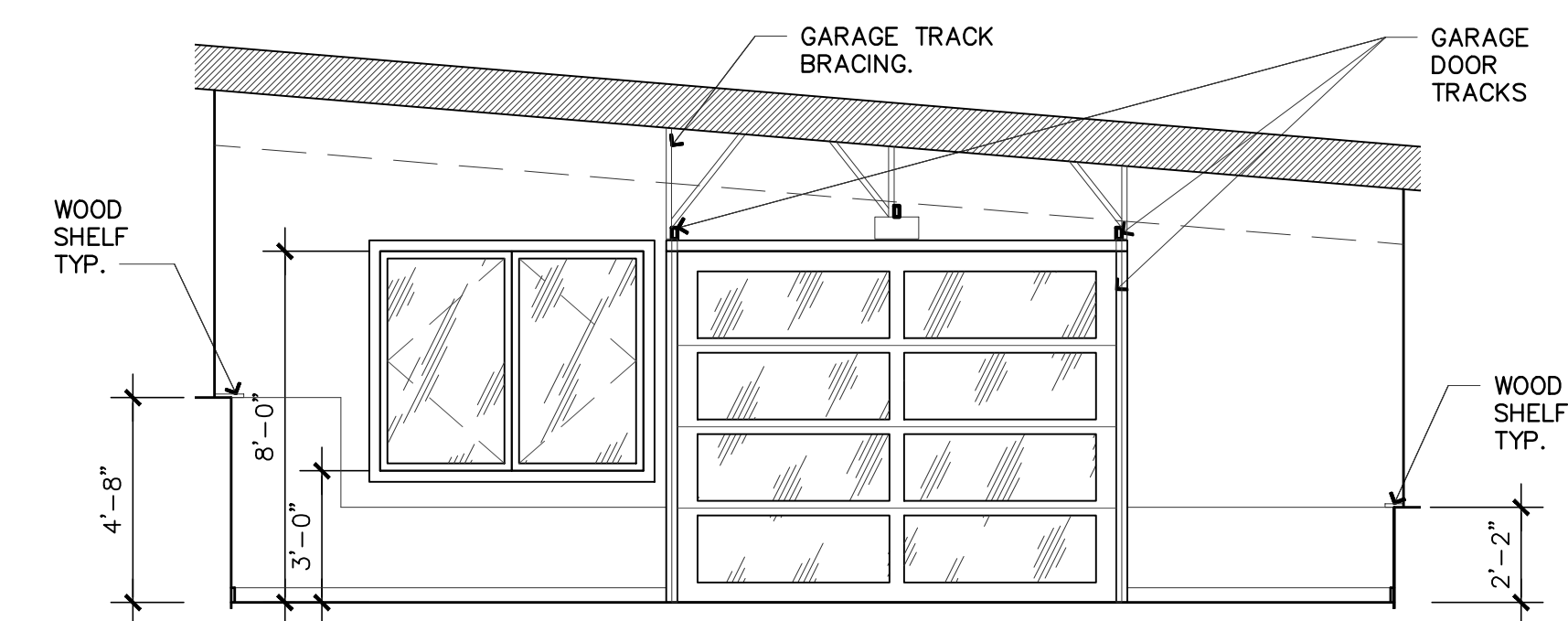
3 INTERIOR ELEVATION
A3.01 1/4" = 1'-0"



1 INTERIOR ELEVATION
A3.01 1/4" = 1'-0"



4 INTERIOR ELEVATION
A3.01 1/4" = 1'-0"



2 INTERIOR ELEVATION
A3.01 1/4" = 1'-0"

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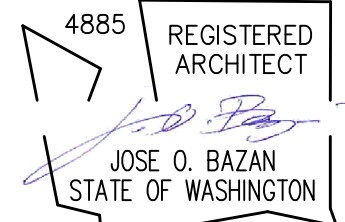
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INTERIOR ELEVATIONS

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A3.01

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BELADY GARAGE / ACCESSORY BUILDING

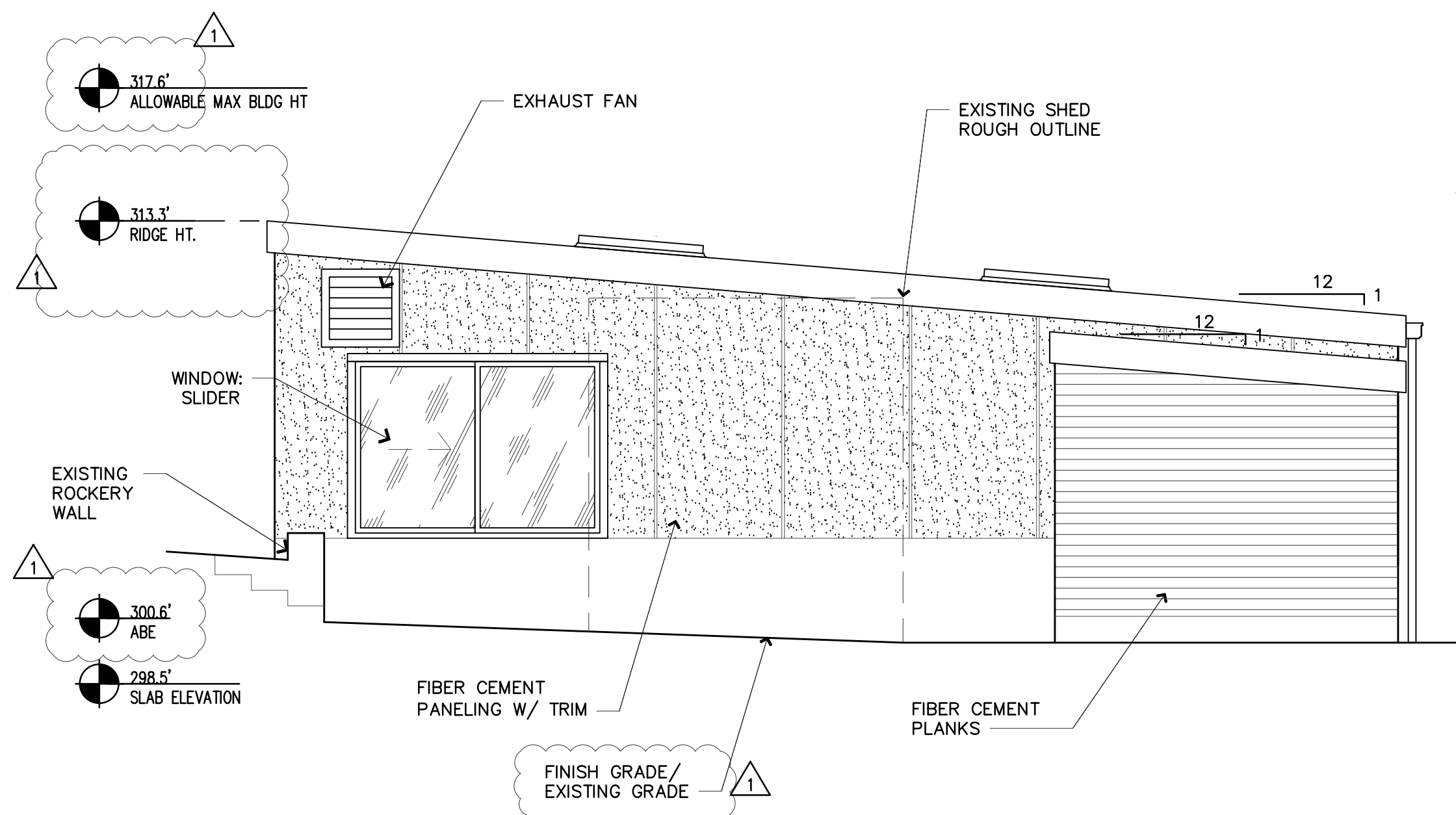
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MERCER ISLAND, WASHINGTON
98040

BAZAN ARCHITECTS

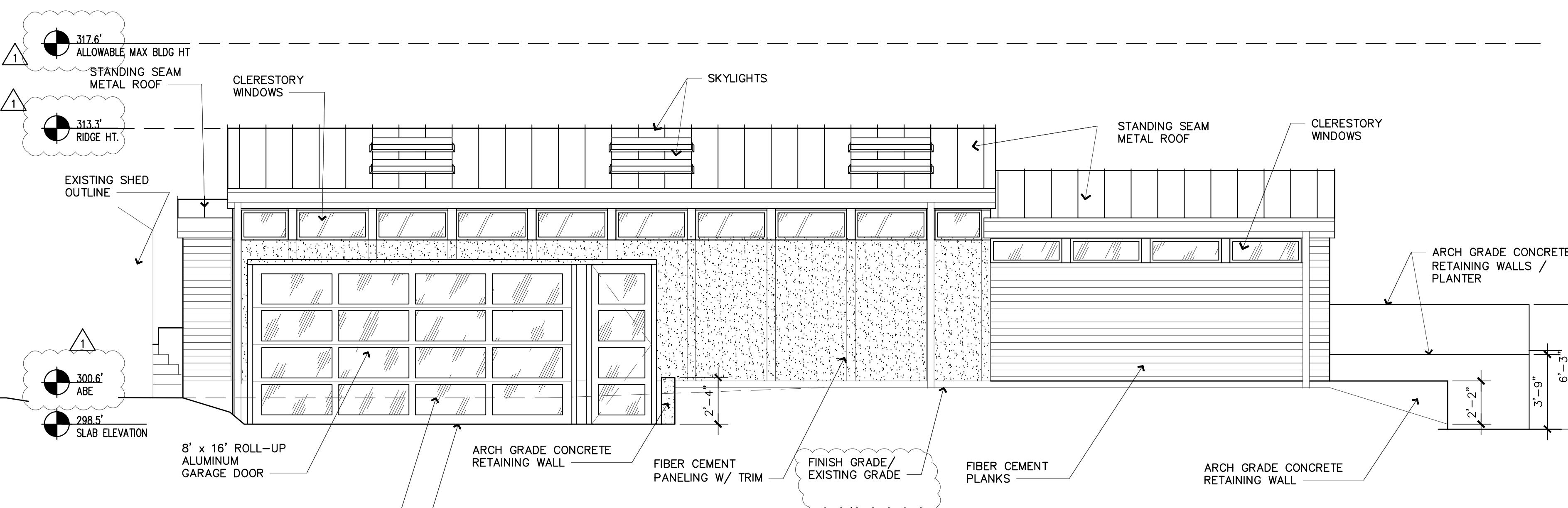
2000 - 116TH AVENUE NE
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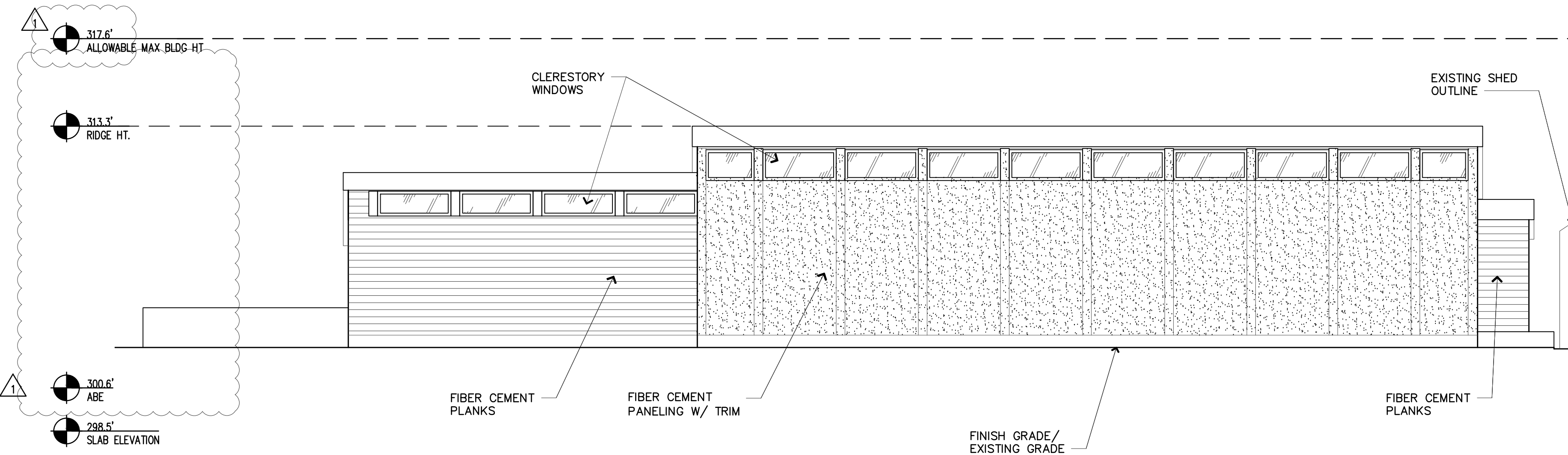
NORTH ELEVATION
1/4" = 1'-0"



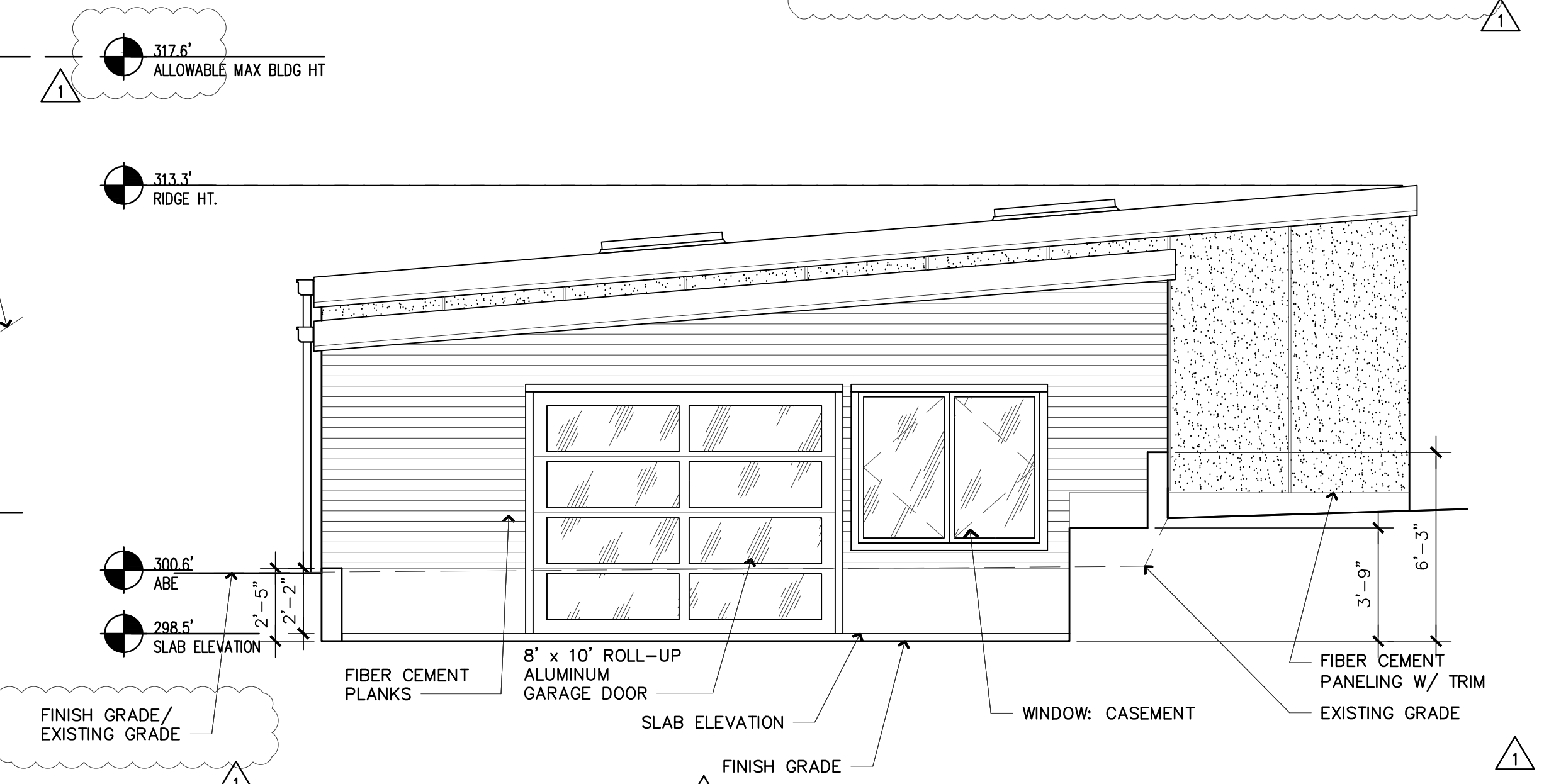
WEST ELEVATION
1/4" = 1'-0"

| AVERAGE BUILDING ELEV DETERMINATION | | | |
|-------------------------------------|---|---------------|------------------------------|
| | MID-POINT ELEV | WALL LENGTH | MID-POINT ELEV X WALL LENGTH |
| A | 302.7 | 38.0' | 11,502.6 |
| B | 302.4 | 8.0' | 2,419.2 |
| C | 302.2 | 17.0' | 5,137.4 |
| D | 298.3 | 28.0' | 8,352.4 |
| E | 299.9 | 57.5' | 17,244.3 |
| F | 300.0 | 11.0' | 3,300.0 |
| G | 300.1 | 2.5' | 750.3 |
| H | 300.3 | 25.0' | 7,507.5 |
| TOTAL | | 187.0' | 56,213.6 |
| ABE FORMULA: | 56,213.60/187 = 300.6' ABE | | |
| | 300.6' ABE + 17" = 317.6' Allowable Max Bldg Height | | |

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EAST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"

| REVISIONS: | DATE |
|-----------------|------|
| 1. CITY UPDATES | |

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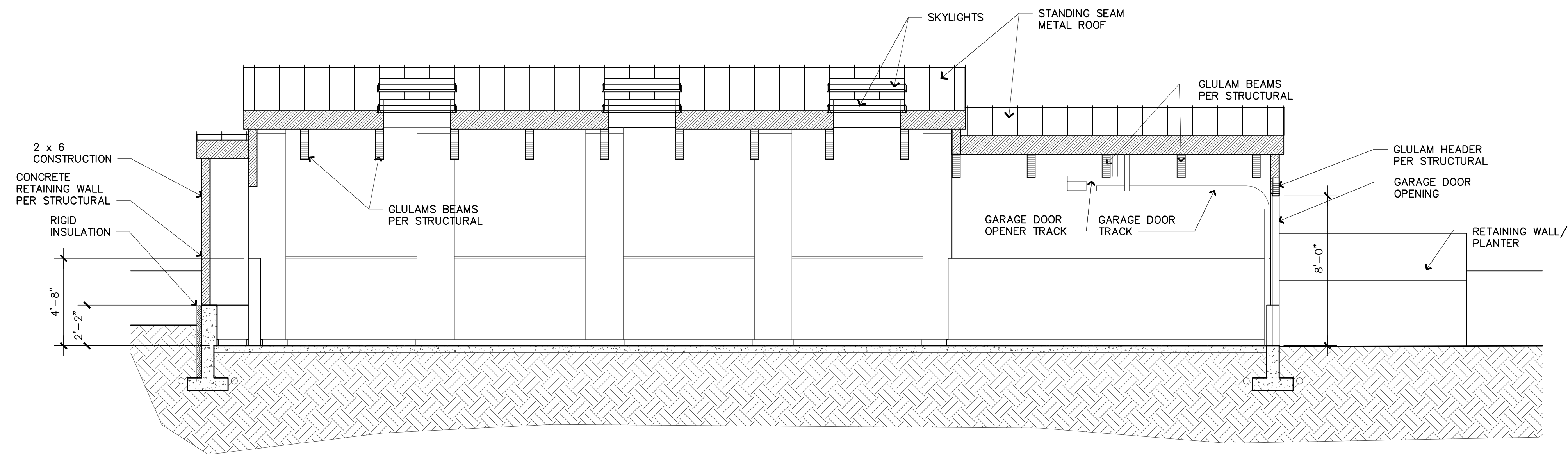
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ELEVATIONS

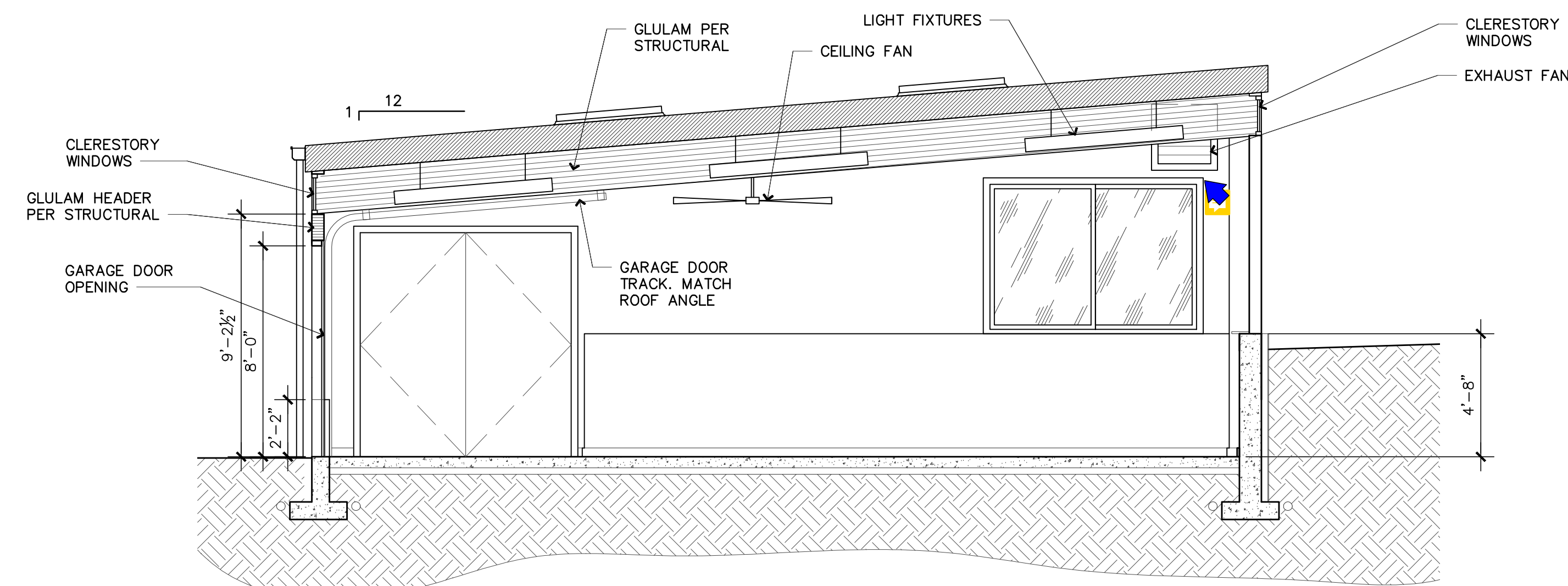
SHEET #

A4.01



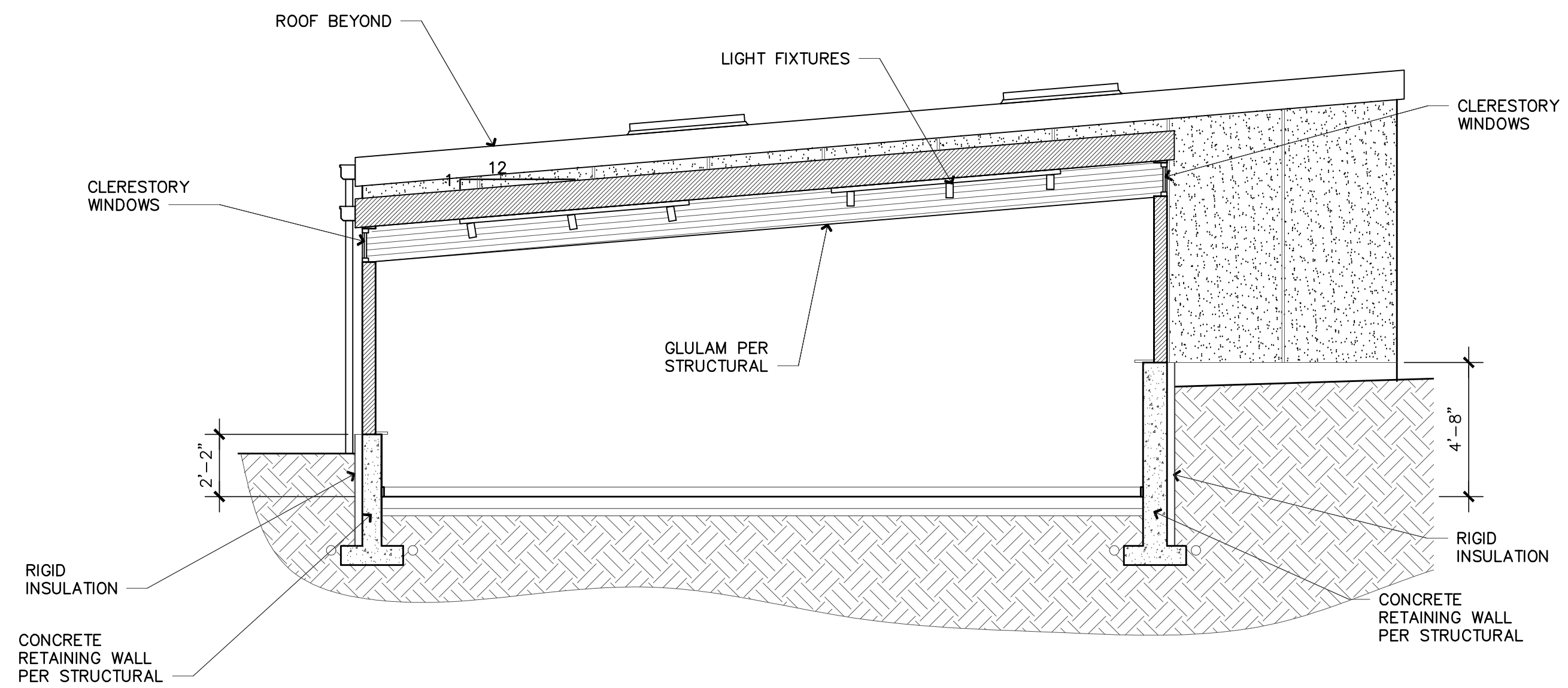
A SECTION

1/4" = 1'-0"



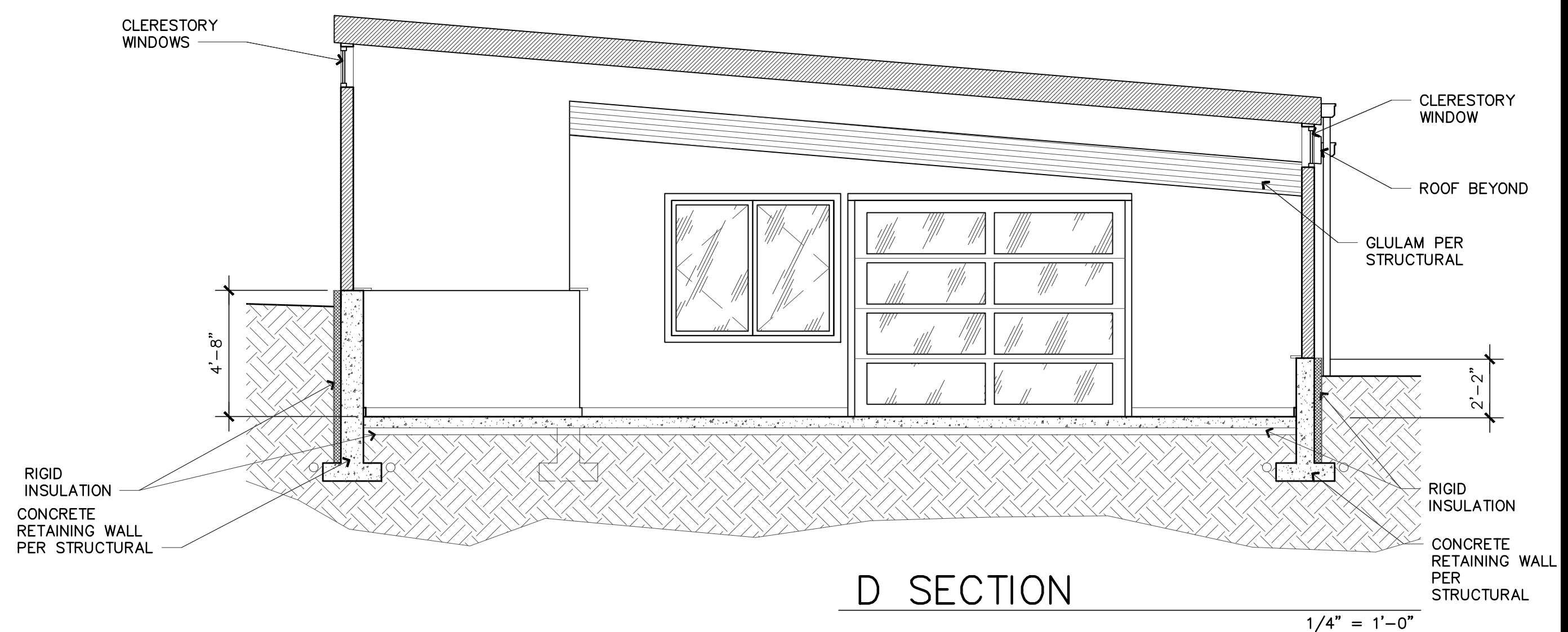
C SECTION

1/4" = 1'-0"



B SECTION

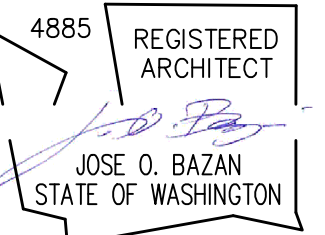
1/4" = 1'-0"



D SECTION

1/4" = 1'-0"

STAMP:



PROJECT:

**BELADY
GARAGE/
ACCESSORY BUILDING**

7627 79TH AVE SE
MERCER ISLAND, WASHINGTON
98040

**BAZAN
ARCHITECTS**

2000 - 116TH AVENUE NE
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SECTIONS

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A5.01

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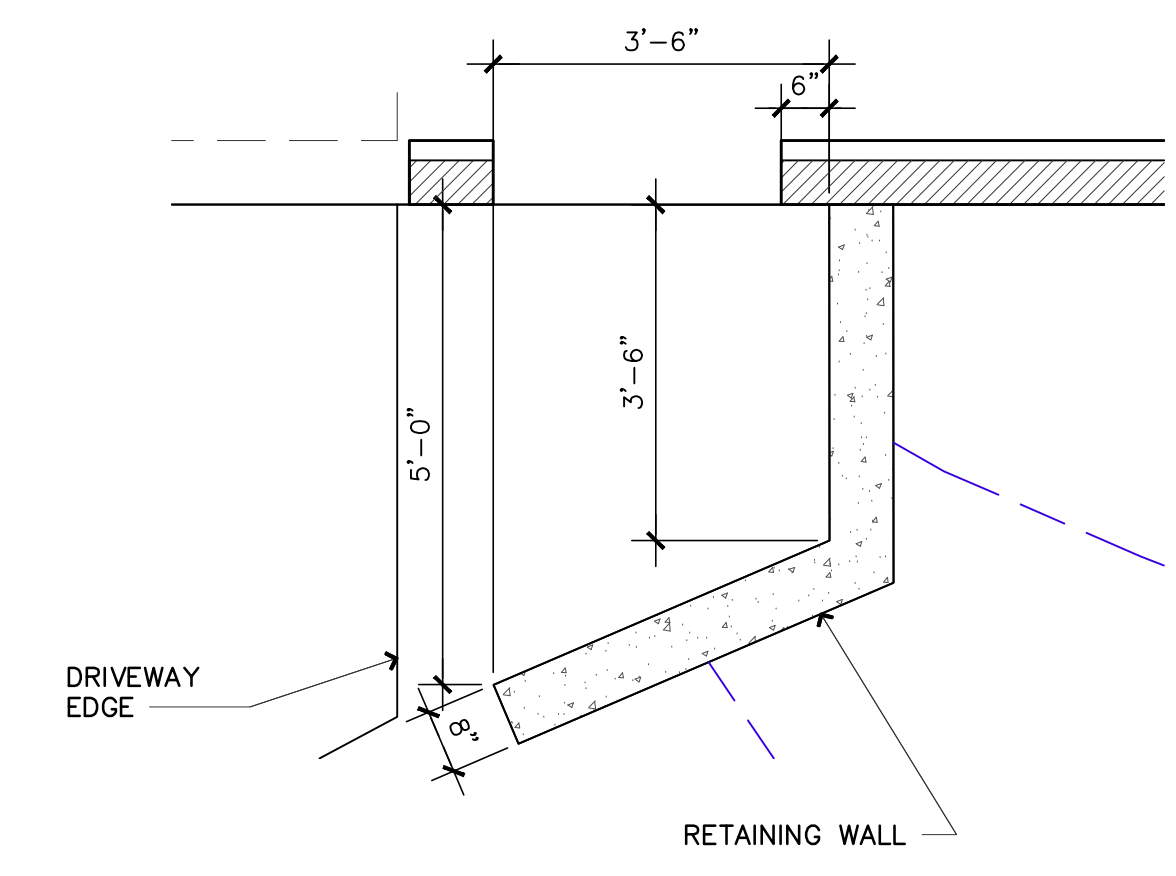
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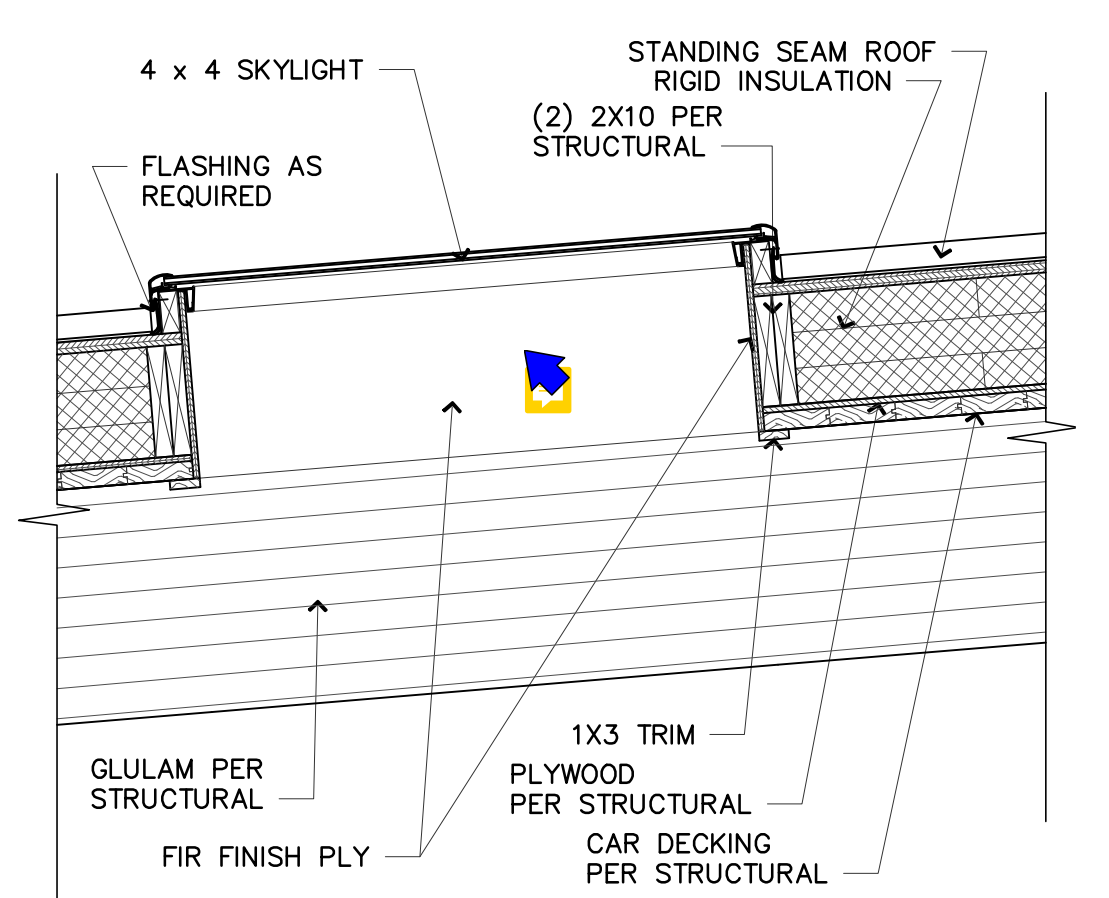
WALL SECTIONS

SHEET #

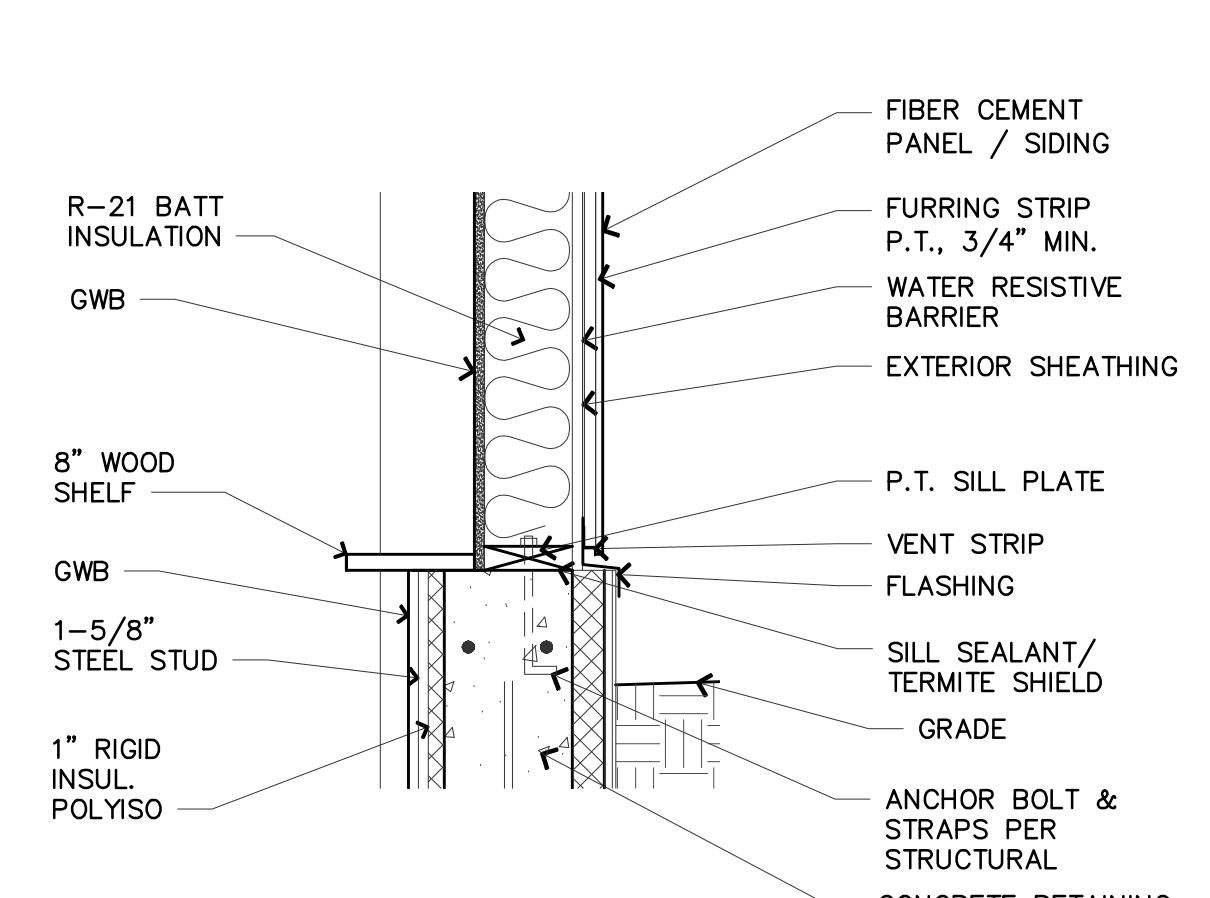
A5.05



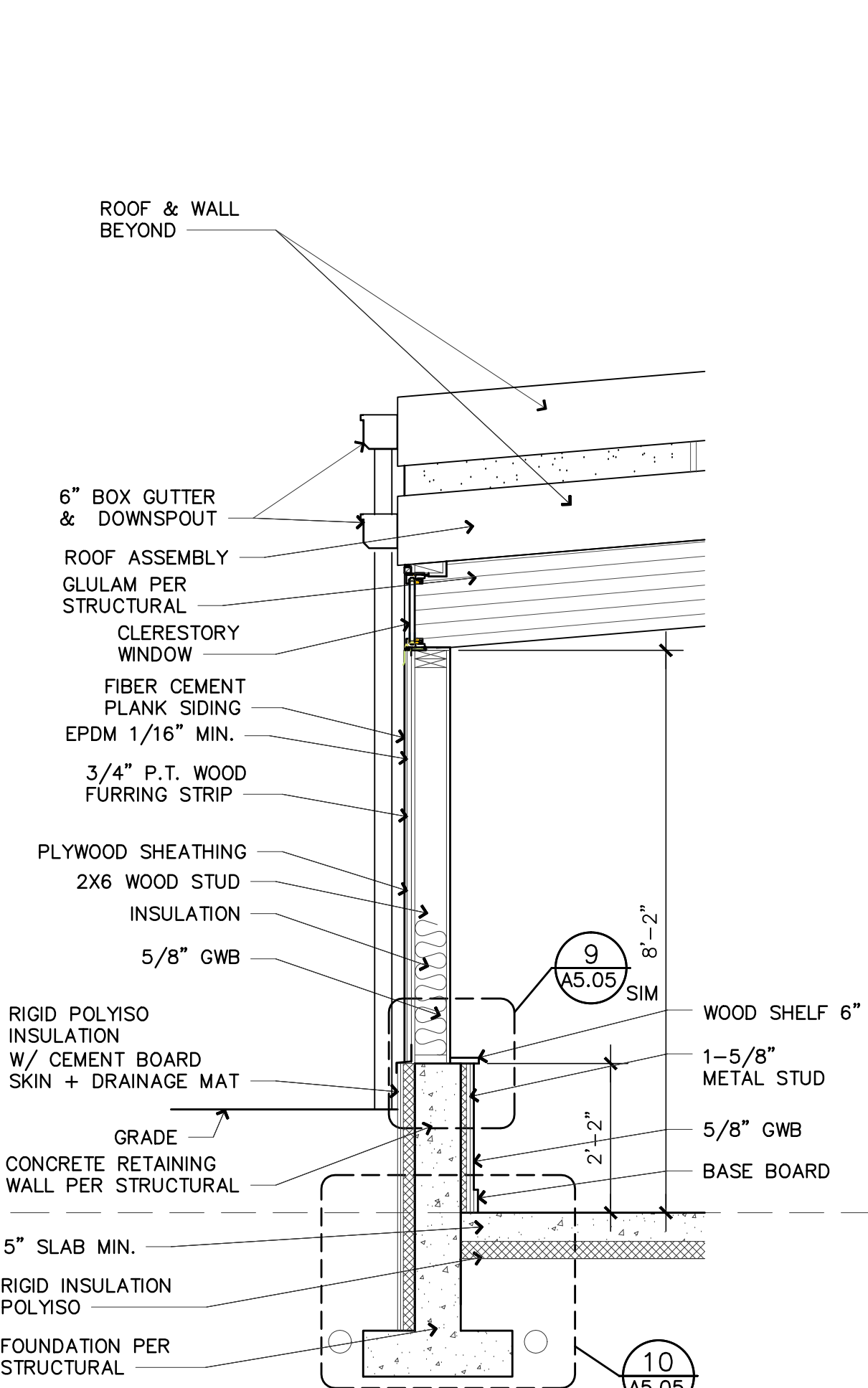
17 RETAINING WALL 1
 A5.05 3/4" = 1'-0"



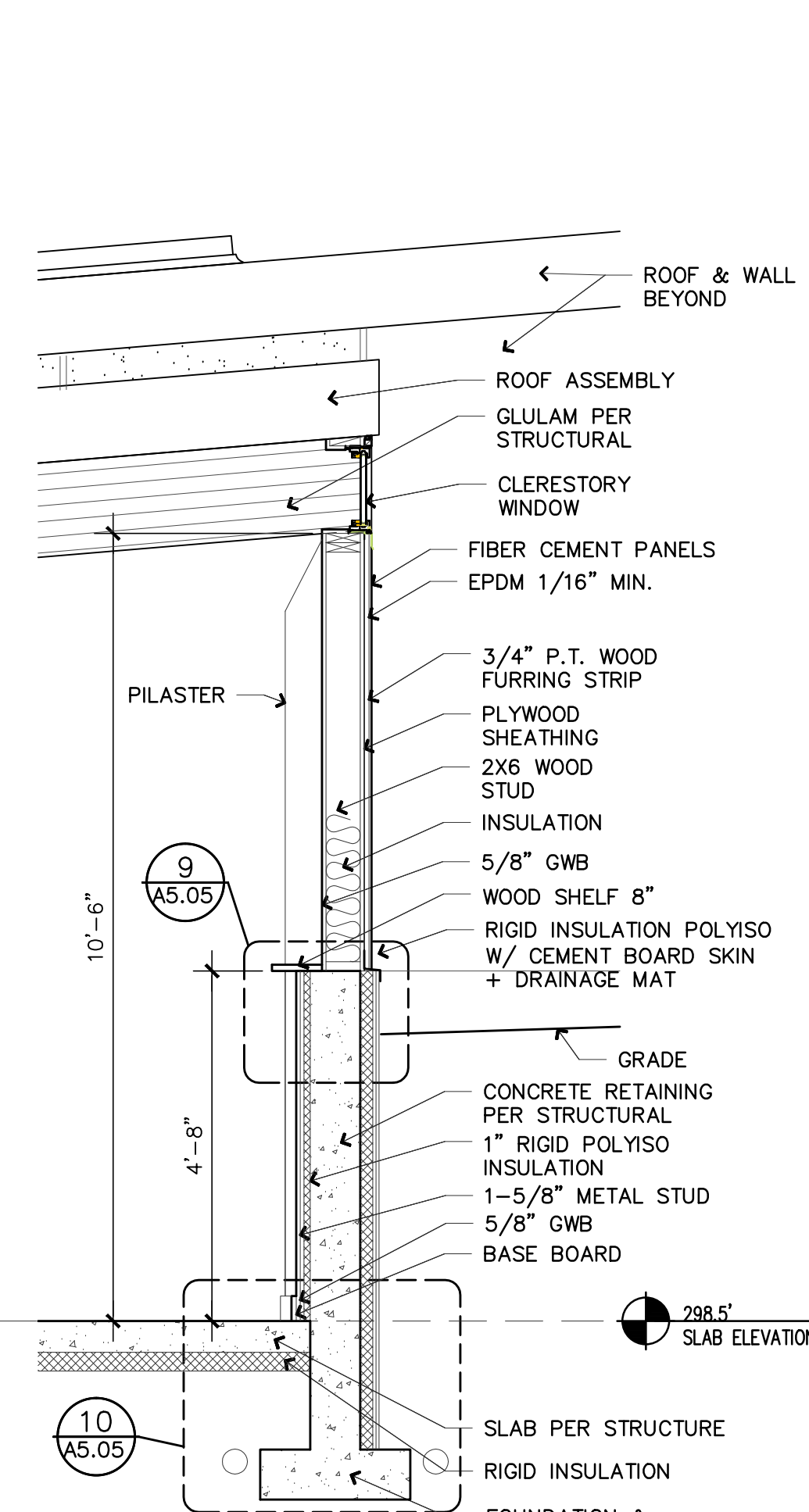
13 SKYLIGHT DETAIL
 A5.05 3/4" = 1'-0"



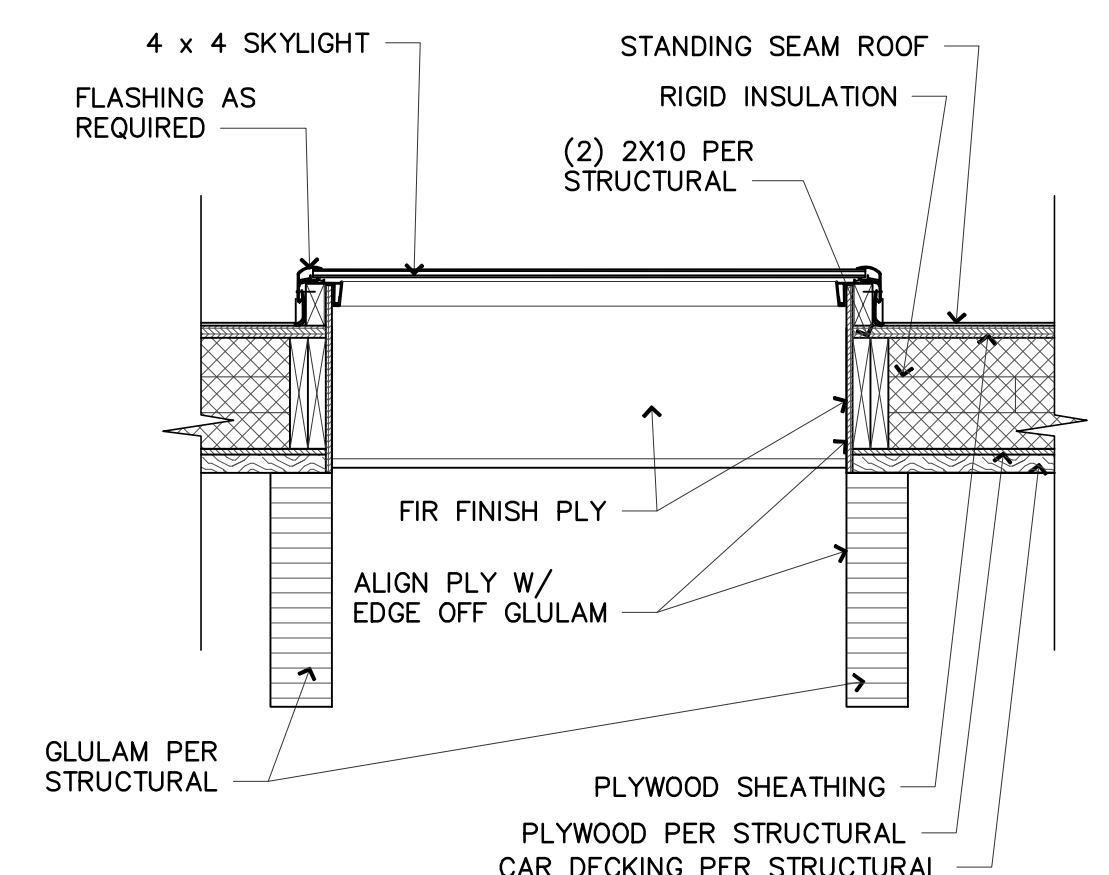
9 WALL SECTION
 A5.05 1" = 1'-0"



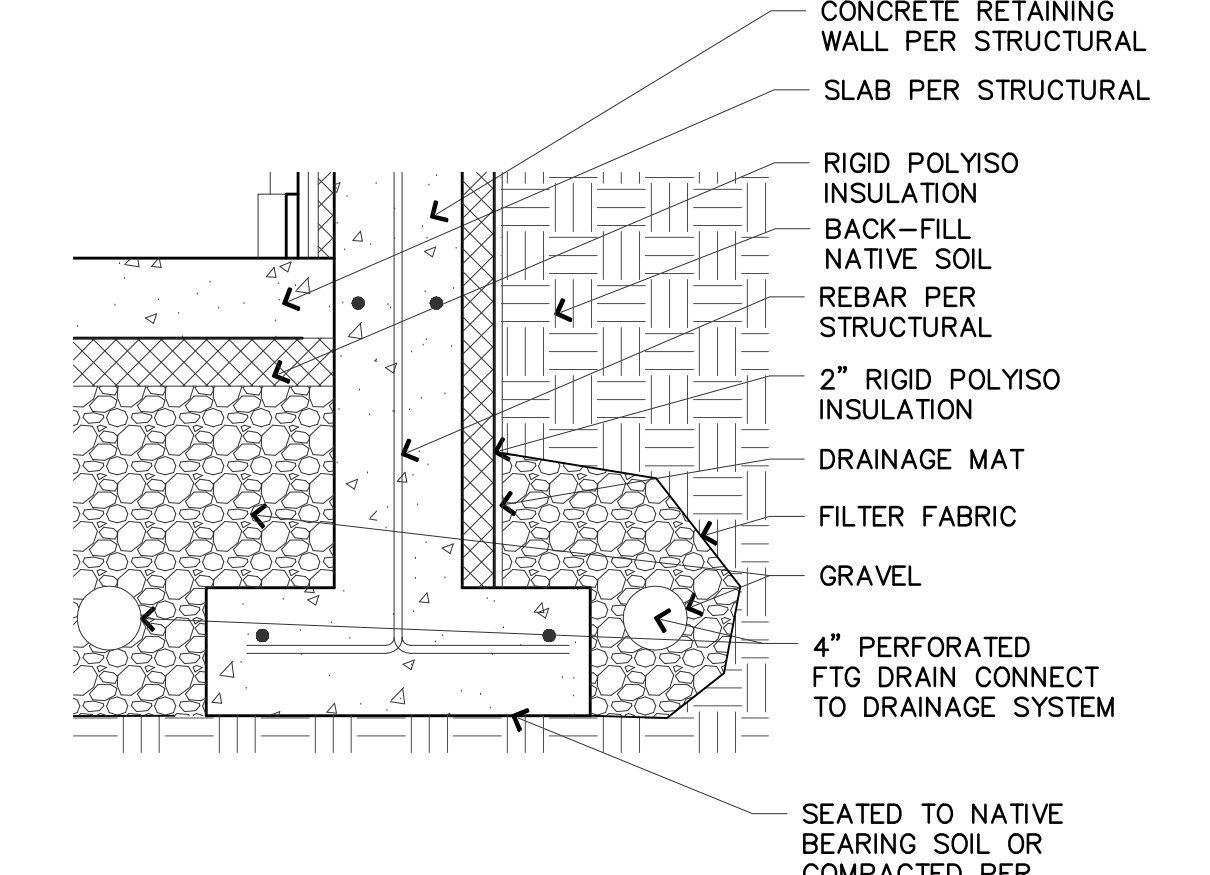
6 WALL SECTION
 A5.05 1/2" = 1'-0"



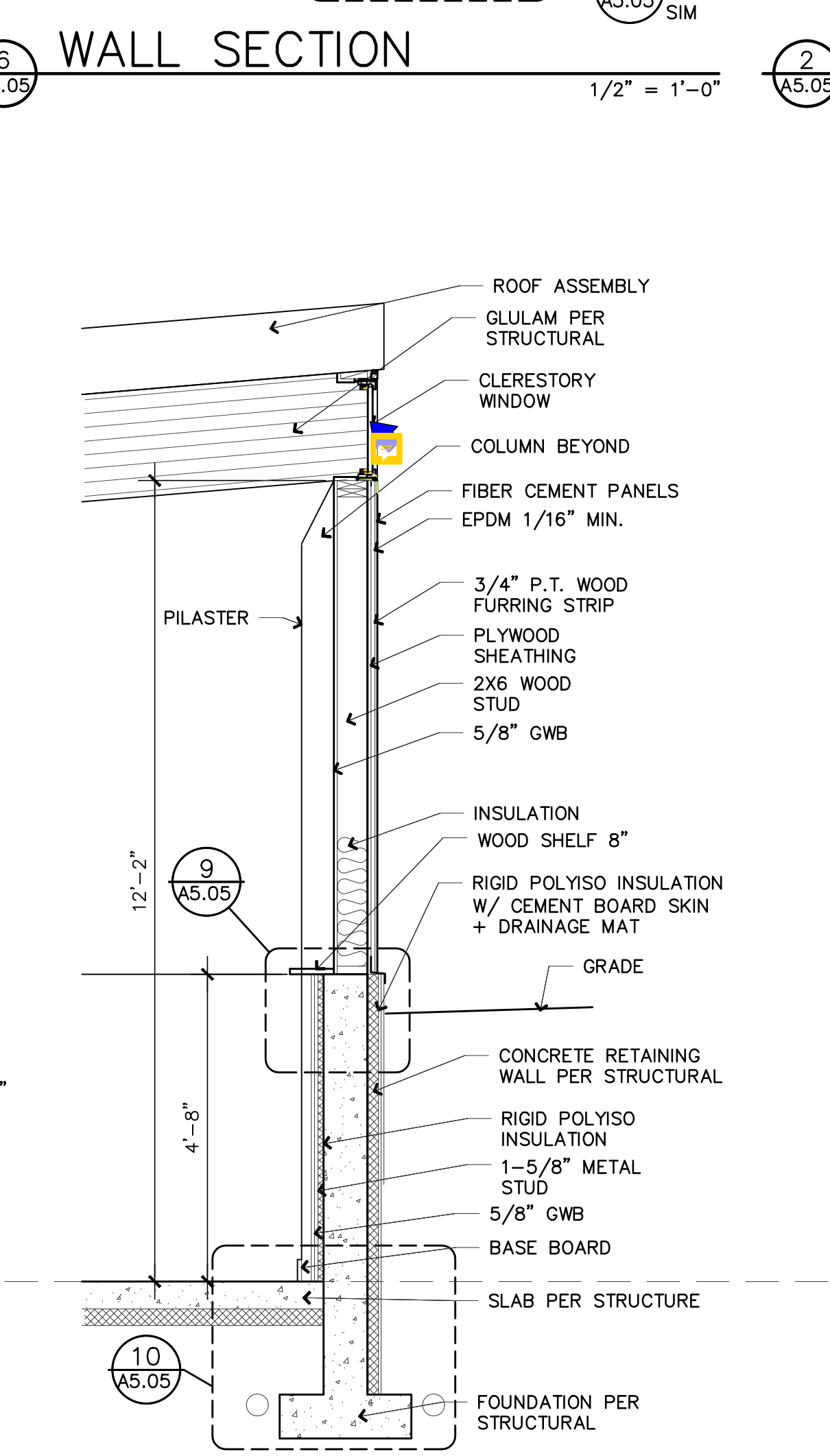
2 WALL SECTION
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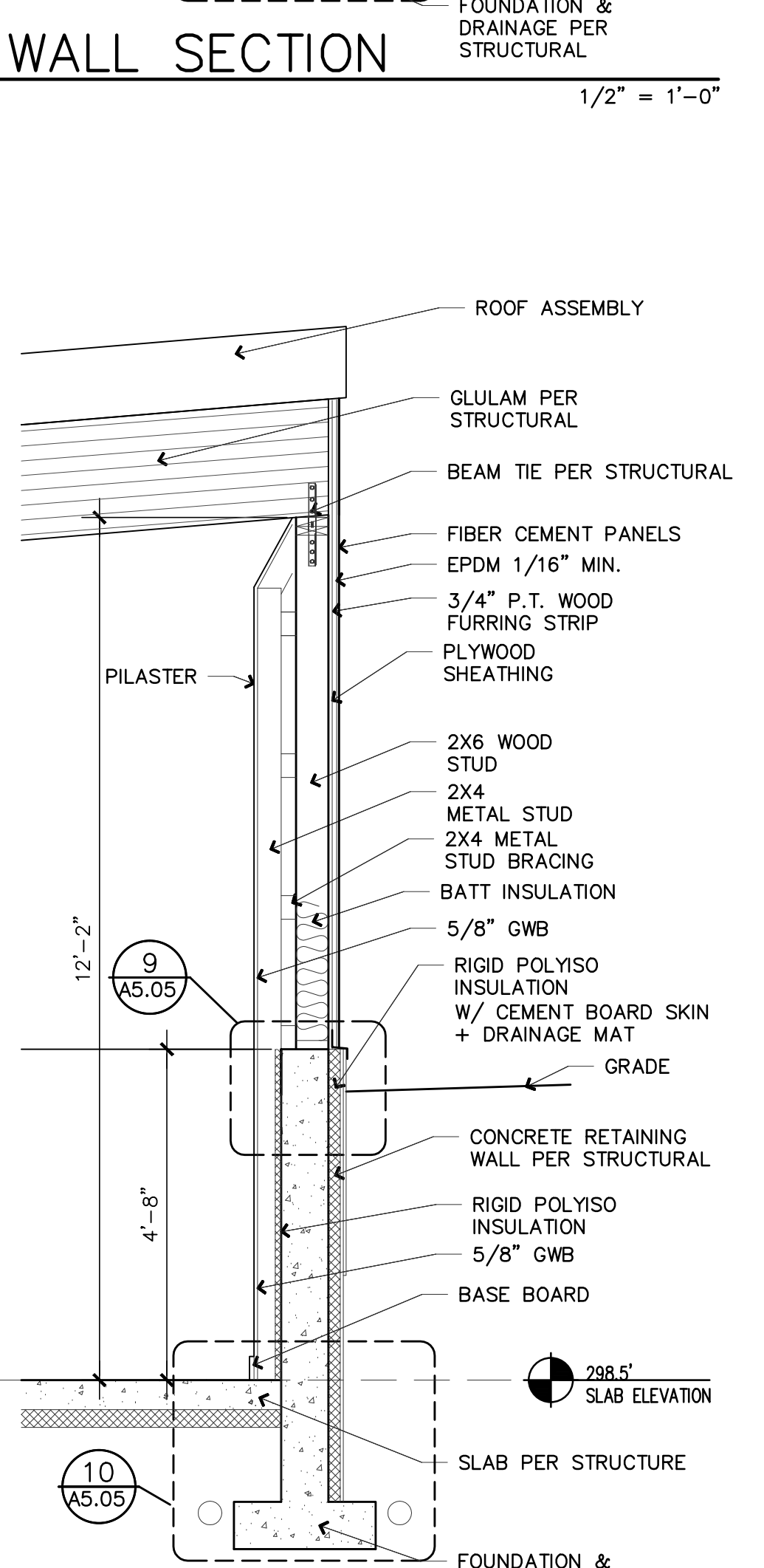
14 SKYLIGHT DETAIL
 A5.05 3/4" = 1'-0"



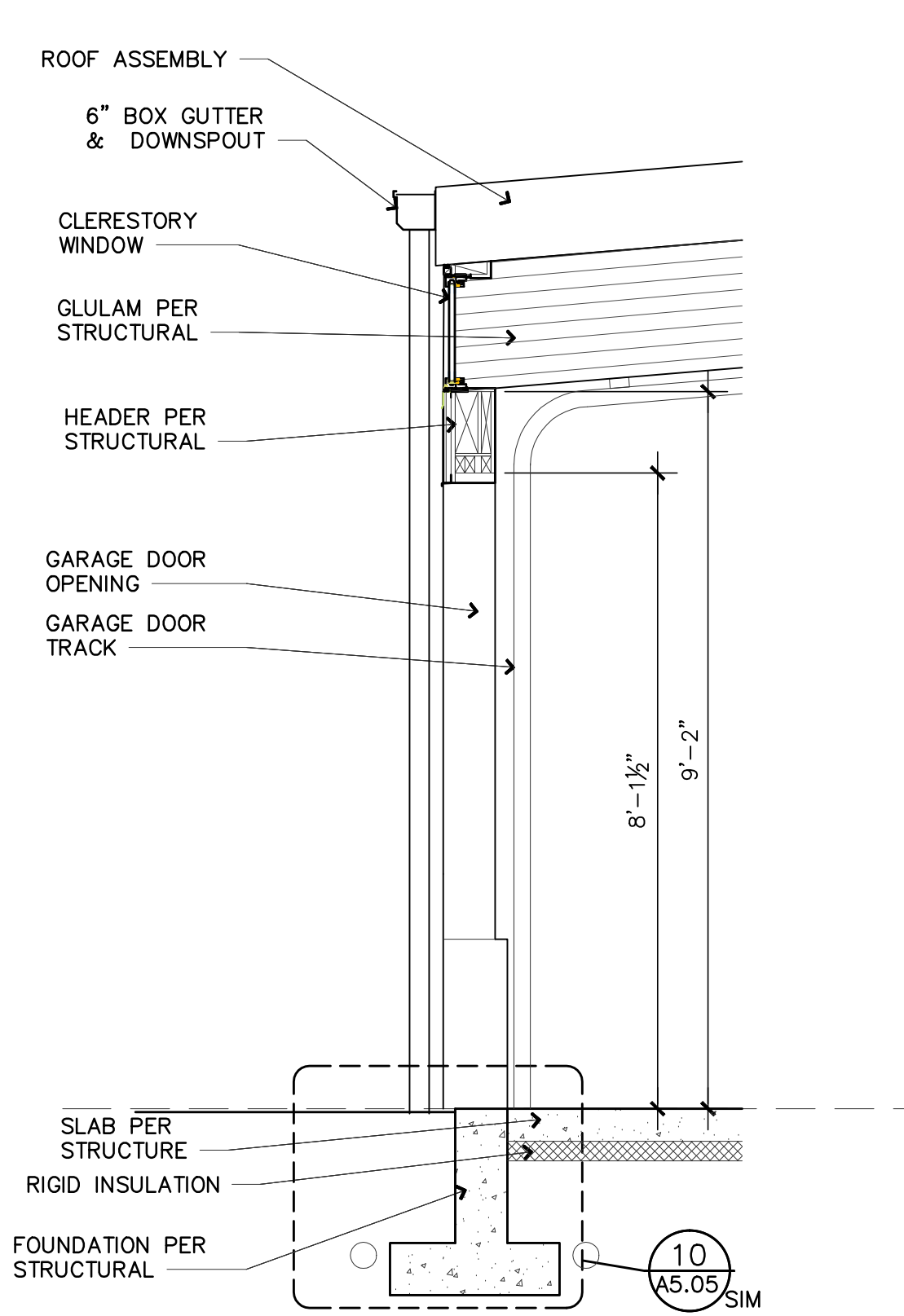
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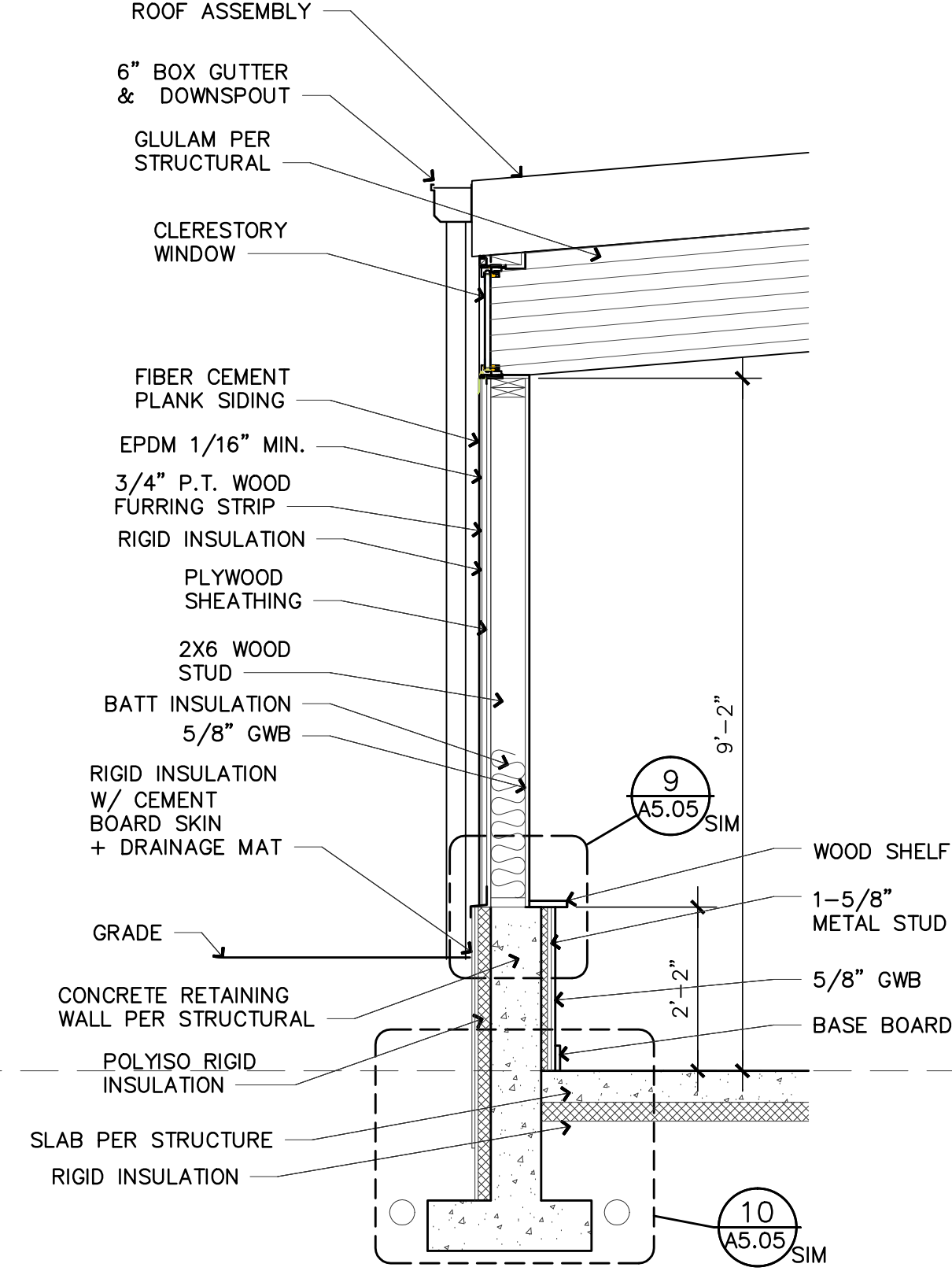
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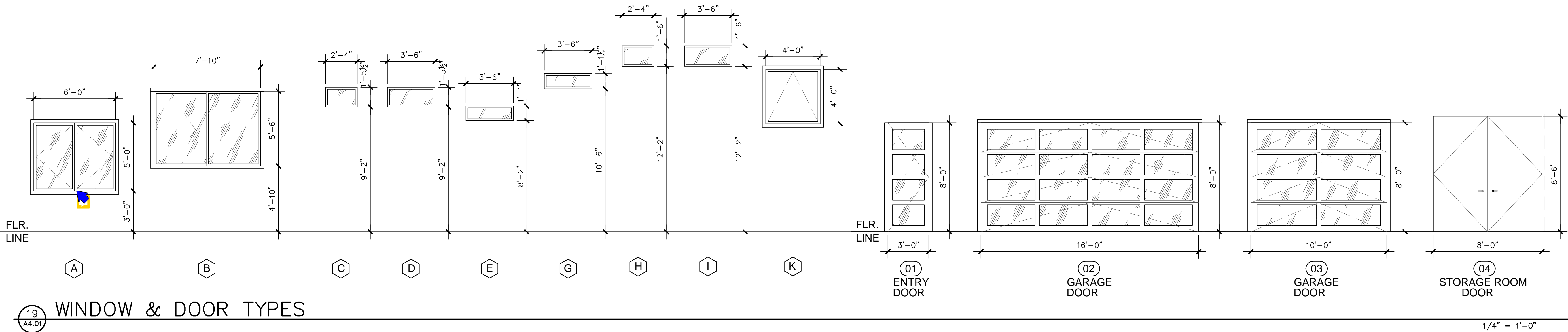
4 WALL SECTION
 A5.05 1/2" = 1'-0"



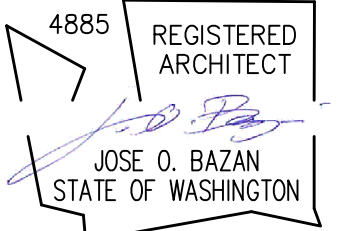
16 WALL SECTION
 A5.05 1/2" = 1'-0"



12 WALL SECTION
 A5.05 1/2" = 1'-0"



STAMP:



PROJECT:

**BELADY
GARAGE/
ACCESSORY BUILDING**

7627 79TH AVE SE
MERCER ISLAND, WASHINGTON
98040

BAZAN ARCHITECTS 1" = 1'-0"

2000 - 116TH AVENUE NE
SUITE 4
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SET ISSUE DATE: **12.23.2019**

SHEET TITLE

**WINDOW + DOOR
SCHEDULES**

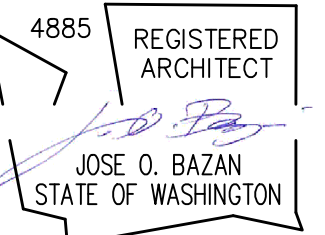
SHEET #

A7.01

| WINDOW SCHEDULE | | | | | | | | | | | | |
|-----------------|----------------|--------|---------------|----------------|-------------|---------------|-------------|---------|---------|------|------|---------------------------|
| SYMBOL | REQUIRE EGRESS | WIDTH | WINDOW HEIGHT | TYPE | SAFTY GLASS | FRAME | FIRE RATING | SQ. FT. | U-VALUE | SHGC | QUAN | REMARKS |
| A | NO | 6'-0" | 5'-0" | CASEMENT | NO | THERMAL STEEL | NR | 24.9 | | | 1 | PELLA IMPERVIA FIBERGLASS |
| B | NO | 7'-10" | 5'-6" | SLIDER | NO | THERMAL STEEL | NR | 37.9 | | | 1 | PELLA IMPERVIA FIBERGLASS |
| C | NO | 2'-4" | 1'-5 1/2" | FIXED | NO | THERMAL STEEL | NR | 2.4 | | | 2 | PELLA IMPERVIA FIBERGLASS |
| D | NO | 3'-6" | 1'-5 1/2" | FIXED | NO | THERMAL STEEL | NR | 3.7 | | | 8 | PELLA IMPERVIA FIBERGLASS |
| E | NO | 3'-6" | 1'-1" | FIXED | NO | THERMAL STEEL | NR | 2.5 | | | 4 | PELLA IMPERVIA FIBERGLASS |
| G | NO | 3'-6" | 1' 1 1/2" | FIXED | NO | THERMAL STEEL | NR | 2.7 | | | 4 | PELLA IMPERVIA FIBERGLASS |
| H | NO | 2'-4" | 1'-6" | FIXED | NO | THERMAL STEEL | NR | 2.5 | | | 2 | PELLA IMPERVIA FIBERGLASS |
| I | NO | 3'-6" | 1'-6" | FIXED | NO | THERMAL STEEL | NR | 3.9 | | | 8 | PELLA IMPERVIA FIBERGLASS |
| K | NO | 4'-0" | 4'-0" | SKYLIGHT-FIXED | NO | WOOD CURB | NR | 13.4 | NA | NA | 6 | VELUX |

| DOOR SCHEDULE | | | | | | | | | | | | |
|---------------|-----------|-------------|--------------|----------|-------|----------|-------|---------|---------|------|------|---------|
| MARK | ROOM NAME | SIZE: WIDTH | SIZE: HEIGHT | TYPE | CORE | MATERIAL | FRAME | SQ. FT. | U-VALUE | SHGC | QUAN | REMARKS |
| 01 | GARAGE | 6'-0" | 8'-0" | SWING | INSUL | GLASS | AL | | | | 1 | TBD |
| 02 | GARAGE | 16'-0" | 8'-0" | OVERHEAD | INSUL | GLASS | AL | | | | 1 | TBD |
| 03 | GARAGE | 8'-0" | 8'-0" | OVERHEAD | INSUL | GLASS | AL | | | | 1 | TBD |
| 04 | STORAGE | 8'-0" | 8'-6" | SWING | WOOD | WOOD | WOOD | | | | 1 | TBD |

STAMP:



PROJECT:

BELADY GARAGE / ACCESSORY BUILDING

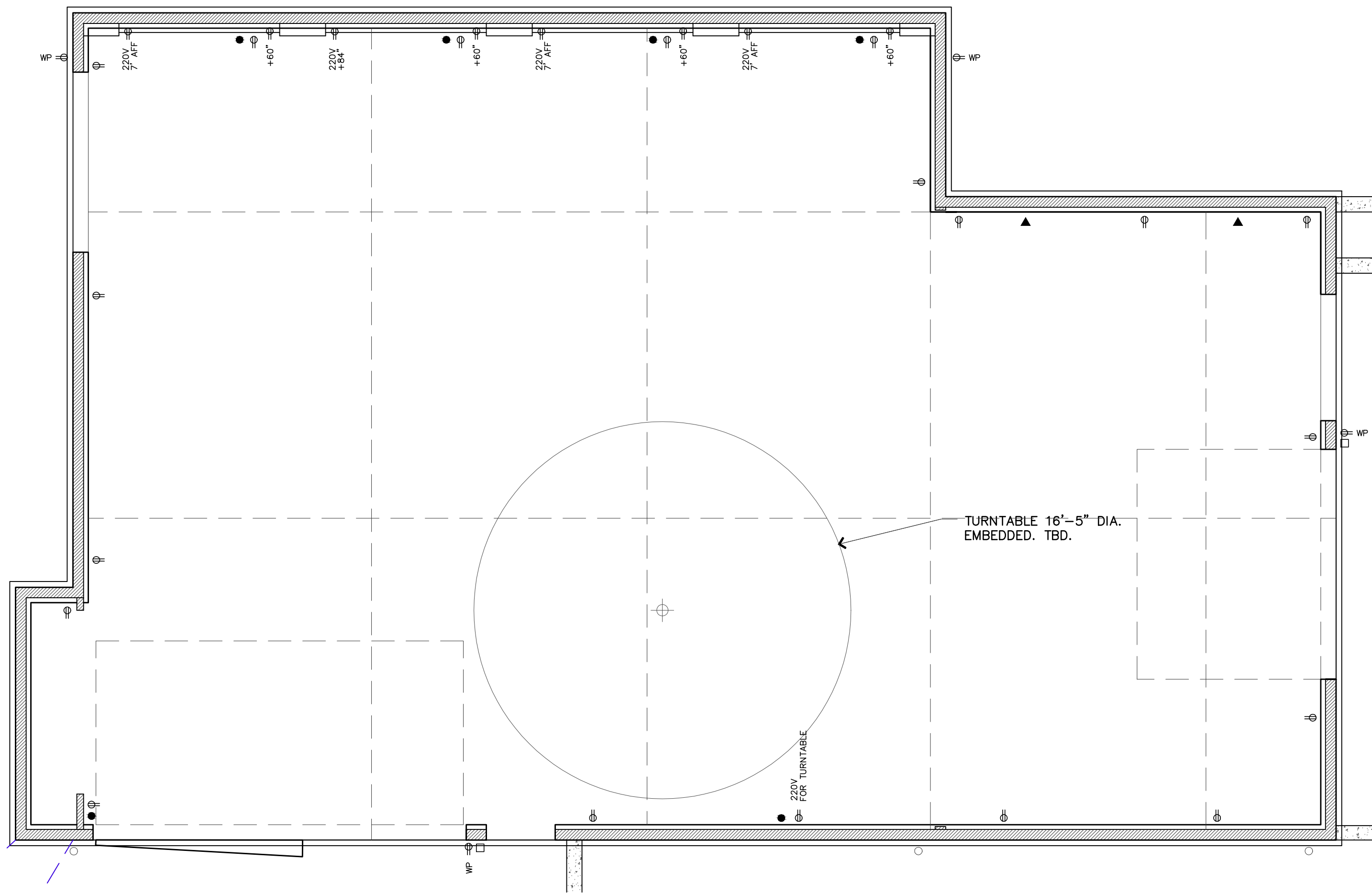
7627 79TH AVE SE
MERCER ISLAND, WASHINGTON
98040

BAZAN ARCHITECTS

2000 - 116TH AVENUE NE
SUITE 4
BELLEVUE, WA 98004

PHONE: 425.637.0831
FAX: 425.637.1878

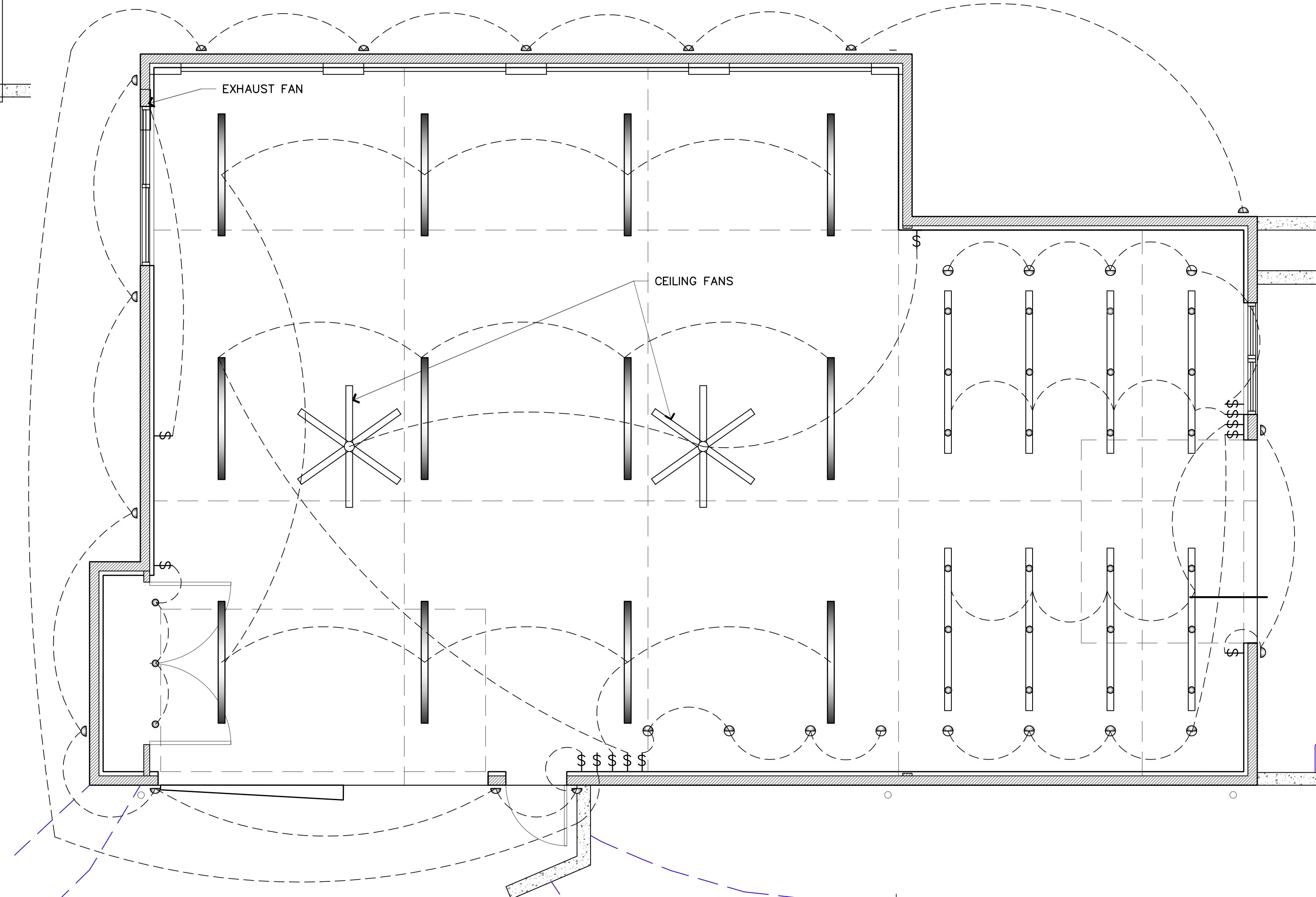
PERMIT



| FIXTURE SCHEDULE: | | | | |
|-------------------|----------------------------------|-------|---------|--------------|
| TYPE | DESCRIPTION | LAMPS | WATTAGE | MANUFACTURER |
| | LINEAR LIGHTS SUSPENDED DOWN LED | TBD | | |
| | TRACK LIGHTING LED | TBD | | |
| | 4" LED-WHITE | TBD | | |
| | 4" LED-WHITE WALL WASHER | TBD | | |
| | EXTERIOR WALL SCONCE | TBD | | |

| LEGEND: | |
|---------|---|
| | DUPLEX OUTLET @ 18" U.N.O. |
| | DUPLEX OUTLET 220V |
| | DUPLEX OUTLET AT DESIGNATED HEIGHT |
| | GROUND FAULT CIRCUIT INTERRUPTER OUTLET W/ WEATHER PROOF COVER |
| | TELEPHONE / DATA JACK / TV CABLE JACK |
| | ENTRY KEYPAD |
| | AIR COMPRESSOR TAKE-OFF |

ELECTRICAL PLAN
1/4" = 1'-0"
PROJECT



LIGHTING PLAN
1/4" = 1'-0"
PROJECT

NOTE:
1. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. CIVIL, LANDSCAPE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS. ANY DISCREPANCIES, CONTRADICTIONS, OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR FABRICATION OF THE ITEM(S) IN QUESTION.
2. NOT A FULL SIZE DRAWING UNLESS PRINTED ON 24"x36" SHEET.

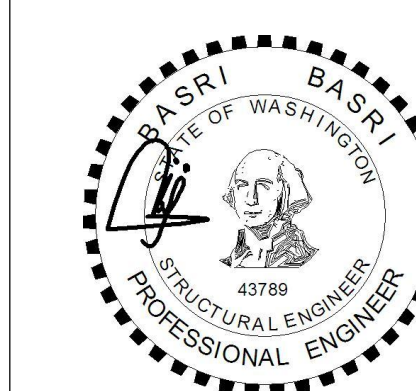
| REVISIONS: | DATE |
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| | |

DRAWN BY **SBO**
CHECKED BY **J. BAZAN**
PROJECT # **18-116**
SET ISSUE DATE: **12.23.2019**

**ELECTRICAL PLAN
LIGHTING PLAN**

SHEET #

E1.01



BELADY GARAGE

7627 79TH AVE SE,
MERCER ISLAND, WA
98040

DRAWING INFO

ISSUE DATE 01-18-20

ISSUED FOR PERMIT

PROJECT NO. 19207

ENGINEER BB

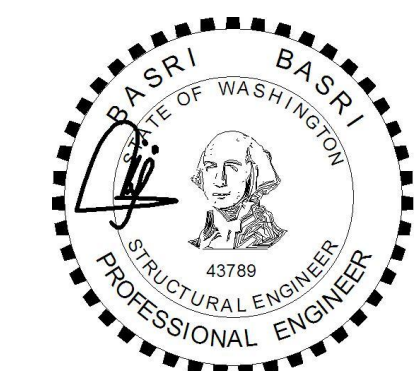
REVISION SCHEDULE

Table with 3 columns: NO., DATE, DESCRIPTION

DRAWING LIST table with columns: SHEET NUMBER, SHEET NAME, ISSUE DATE

GENERAL NOTES AND SPECIFICATIONS S-0

Main specification table with columns: REQUIRED? (Y/N), MATERIAL / ACTIVITY, EXTENT, REQUIRED? (Y/N), MATERIAL / ACTIVITY, EXTENT. Includes sections for Masonry Construction, Steel Construction, Concrete Construction, and Foundation.



BELADY GARAGE

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98040

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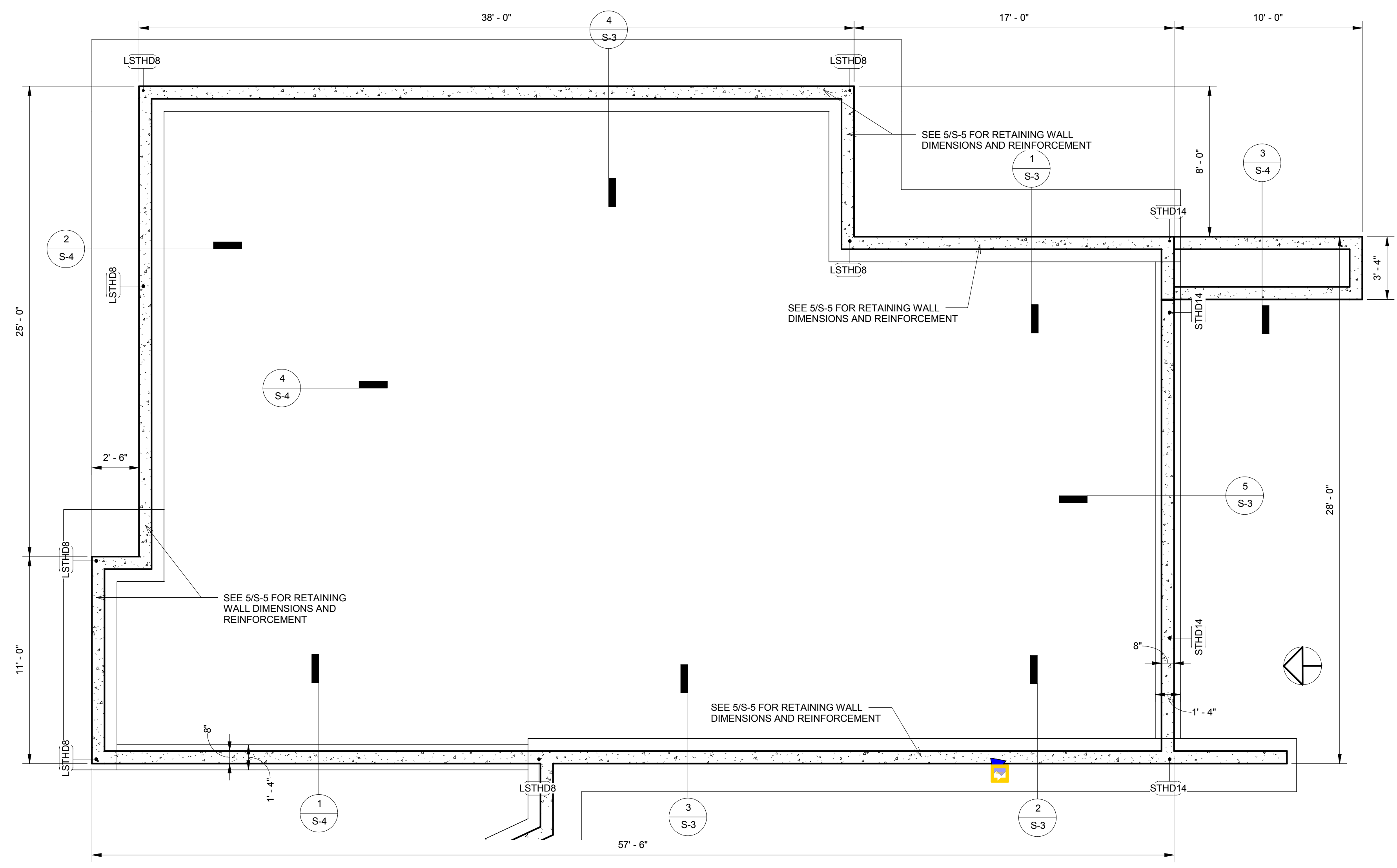
ENGINEER BB

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
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FRAMING PLAN

S-1



1 FOUNDATION PLAN
1/4" = 1'-0"

IMPORTANT NOTES FOR CONTRACTOR:

CONTRACTOR SHALL REVIEW STRUCTURAL DRAWINGS AND FIELD VERIFY ALL RELATED EXISTING FRAMING & DIMENSIONS PRIOR TO ANY FIELD WORK. NOTIFY THE ENGINEER/OWNER ANY DISCREPANCIES FOUND IN THE FIELD. STRUCTURAL DRAWINGS MAY NOT CORRECTLY REFLECT ALL EXISTING FRAMING DUE TO LIMITED ACCESS TO THE SITE AND EXISTING DRAWINGS.
CONTRACTOR SHALL FIELD VERIFY AND NOTIFY THE ENGINEER/OWNER OF EXISTING MECHANICAL DUCTS, PLUMBING PIPES, ELECTRICAL WIRES THAT MAY INTERFERE WITH STRUCTURAL WORKS FOR COST CONSIDERATIONS PRIOR TO ANY FIELD WORK.

IMPORTANT FOUNDATION AND FRAMING NOTES:

1. ALL FOOTINGS SHALL BEAR ON SUITABLE SOIL SUCH AS MIN. OF MEDIUM DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL (NO SOFT OR ORGANIC MATERIALS). GEOTECHNICAL ENGINEER MAY BE REQUIRED TO ASSESS EXISTING SOIL CONDITIONS.
2. FOR FRAMING LUMBER TYPES AND GRADES, AND CONCRETE MIX REQUIREMENTS PLEASE SEE S-0
3. FOR PLYWOOD/OSB SHEARWALL SCHEDULE, PLEASE SEE S-5
4. FOR COMMON HEADER FRAMING DETAIL AND HEADER SIZE, SEE S-5
5. PROVIDE (2) 2X6 OR (3) 2X4 STUD POSTS AT EACH END OF BEAMS, UNLESS NOTED OTHERWISE ON PLAN.
6. SLABS ON GRADE SHALL BE 4" CONCRETE SLAB WITH #3 AT 18" EACH WAY (MID-DEPTH) ON 6" COMPACTED CRUSHED ROCK. PROVIDE 1" SAWCUT JOINT AT 15 FT MAX. SPACING (EACH WAY)
7. FLOOR SHEATHING SHALL BE 3/4" PLYWOOD OR OSB WITH 10d AT 6" NAILING AT EDGES AND AT 12" AT FIELD
8. ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR OSB WITH 8d AT 6" NAILING AT EDGES AND AT 8" AT FIELD

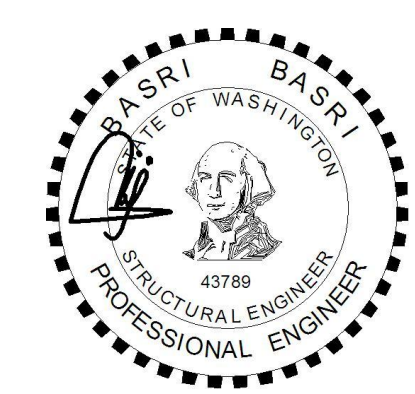
IMPORTANT NOTES ON TRUSS AND FLOOR FRAMING DESIGN AND SHOP DRAWING:

1. TRUSS FRAMING LAYOUT SHOWN IS GENERAL CONCEPT ONLY. CONTRACTOR/TRUSS SUPPLIER MUST SUBMIT TRUSS SHOP DRAWINGS INCLUDING TRUSS TEMPORARY PERMANENT BRACING PLANS FOR ENGINEER'S REVIEW
2. TRUSS FRAMING PROFILE/LAYOUT SHOULD CONFORM TO BOTH STRUCTURAL AND ARCHITECTURAL DRAWINGS. ANY DEVIATIONS SHALL BE APPROVED BY ENGINEER/ARCHITECT PRIOR TO TRUSS DESIGN WORK.
3. TRUSS DEFLECTION CRITERIAS:
FLOOR/DECK TOTAL LOAD = L/480 ROOF TOTAL LOAD = L/240
FLOOR/DECK LIVE LOAD = L/600 ROOF SNOW LOAD = L/300
** MAXIMUM TOTAL LOAD DEFLECTION SHOULD NOT EXCEED 1.0" IN ALL CASES
4. FLOOR/ROOF FRAMING LAYOUT AND CONNECTORS (SUCH AS LUMBER PACKAGE BY SUPPLIERS) MUST BE SUBMITTED FOR ENGINEER'S REVIEW PRIOR TO CONSTRUCTION

FRAMING SYMBOLS:

| | | | |
|--|------------------------------------|--|-----------------------------|
| | SIMPSON WSW STRONG WALL (24" WIDE) | | CONTINUOUS POST |
| | PLYWOOD SHEARWALL | | POST STOPS BELOW THIS FLOOR |
| | SHEARWALL HOLDOWN | | POST STARTS AT THIS FLOOR |

LEGEND AND NOTES
1/4" = 1'-0"



BELADY GARAGE

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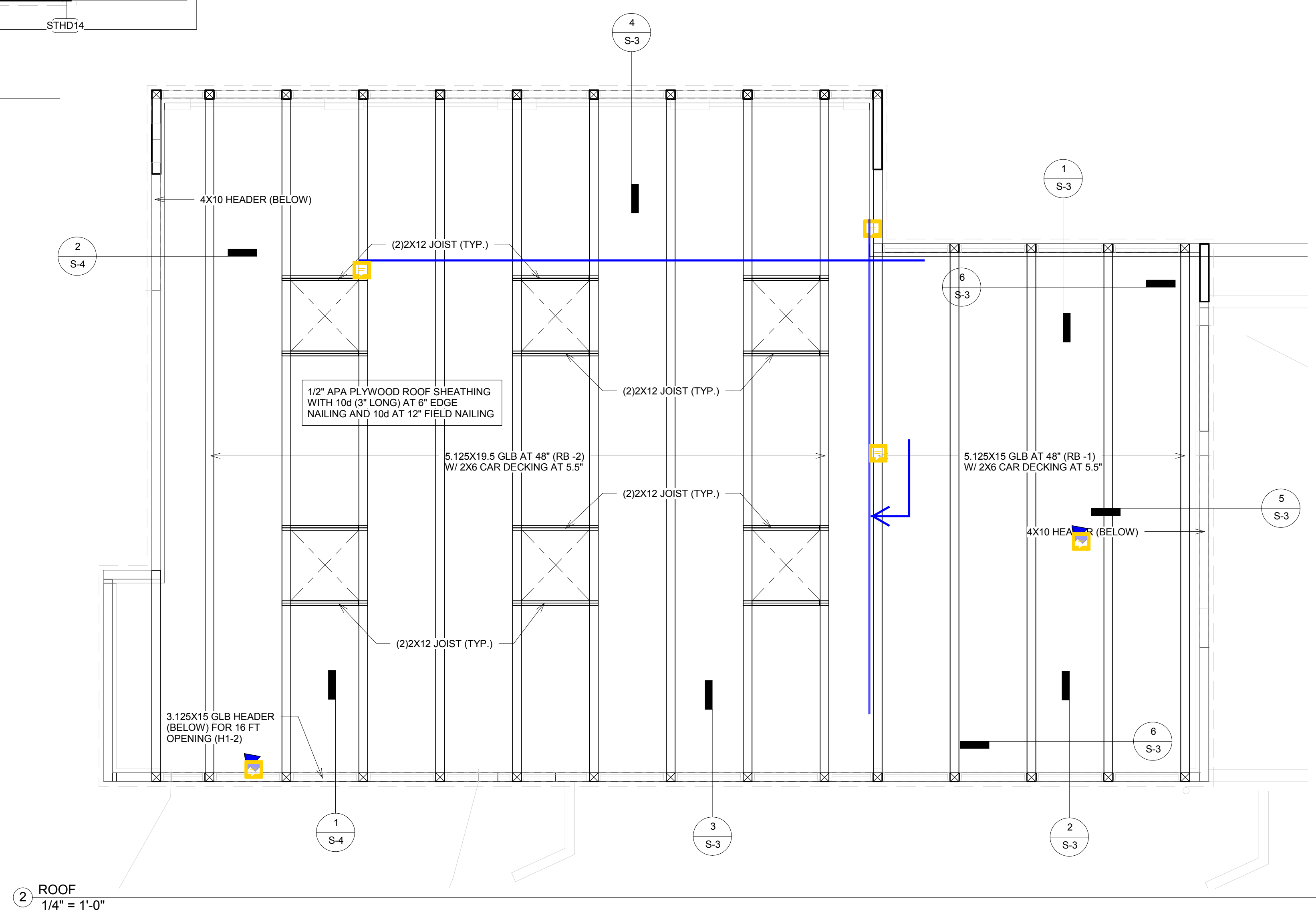
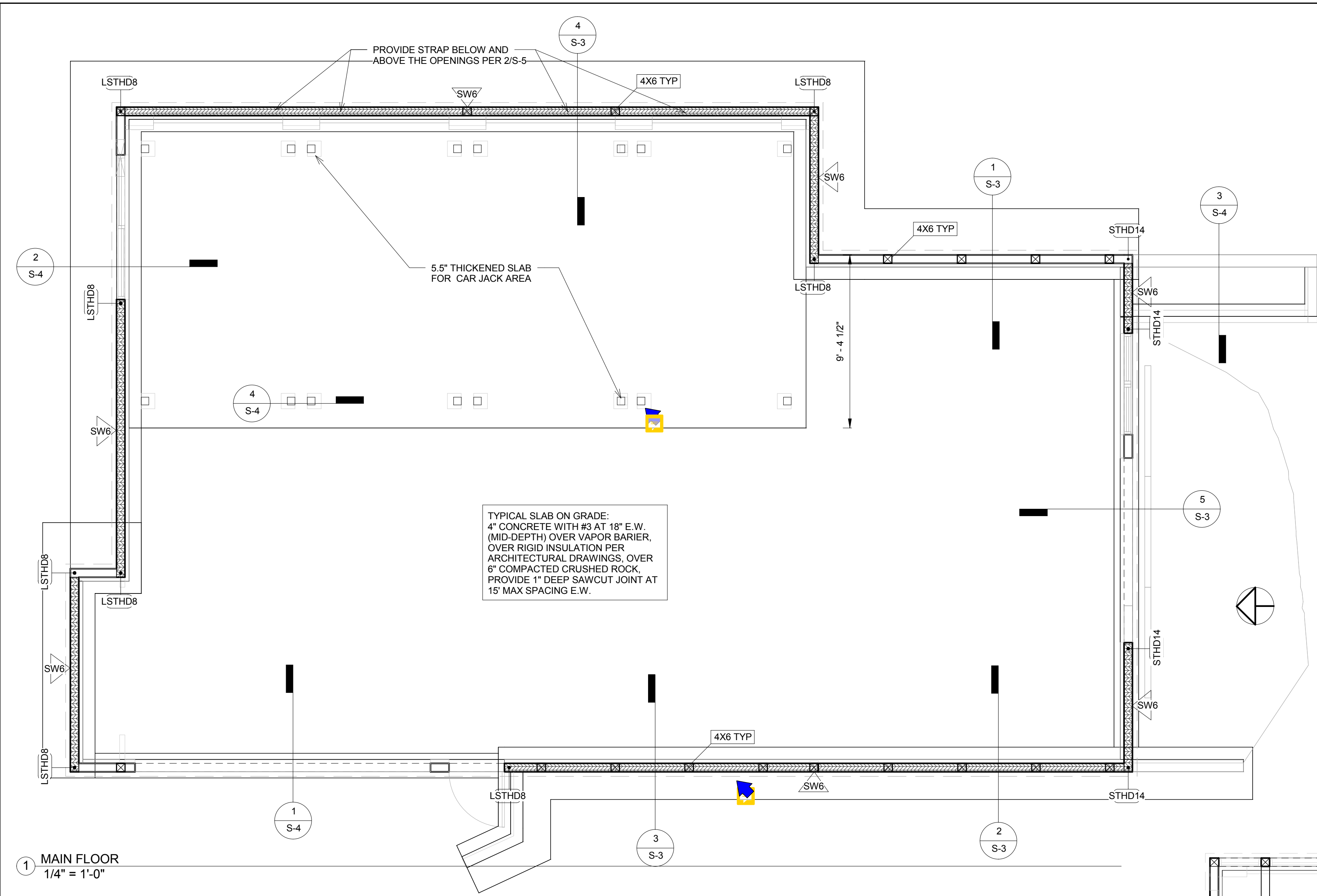
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FRAMING PLAN





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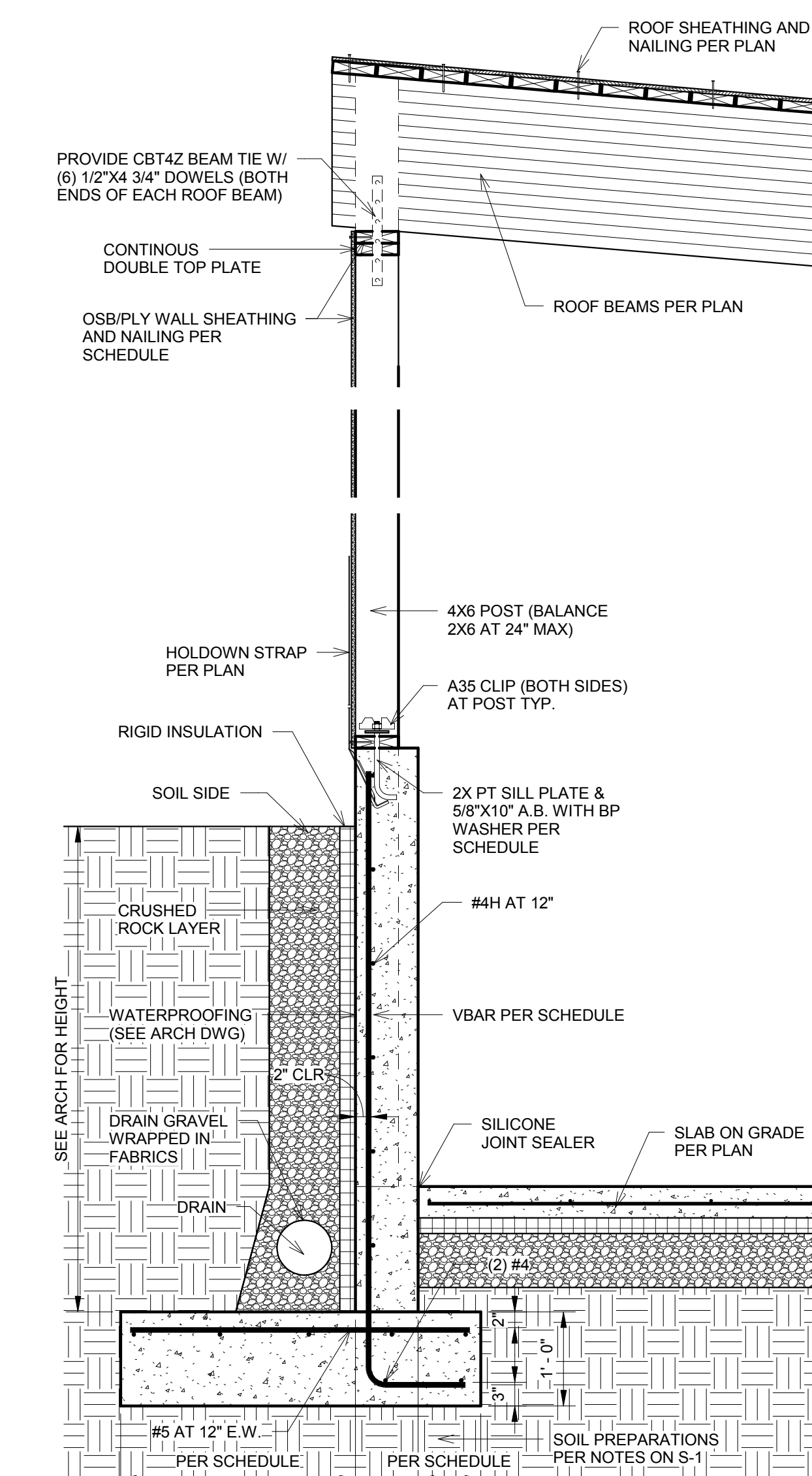
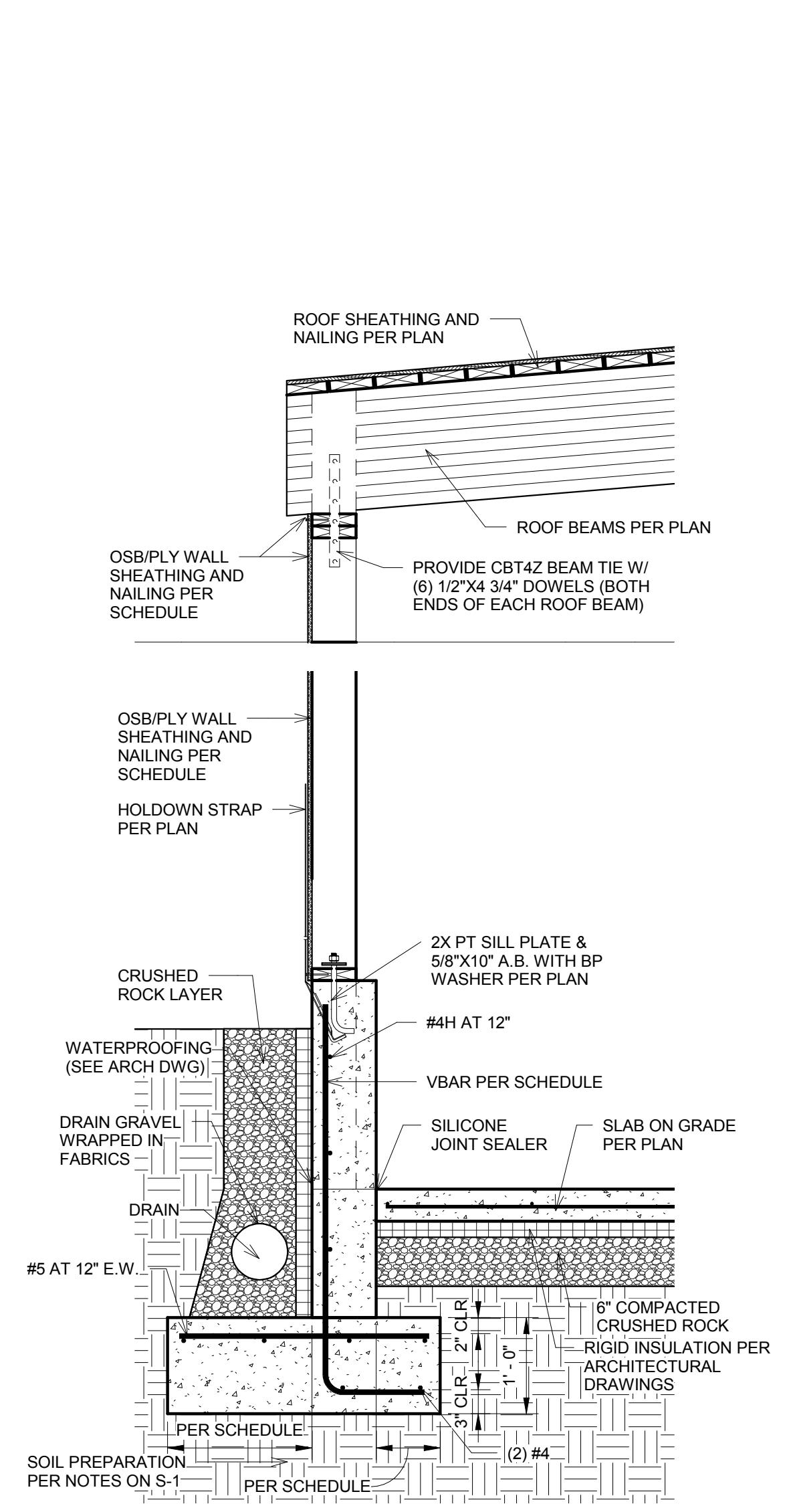
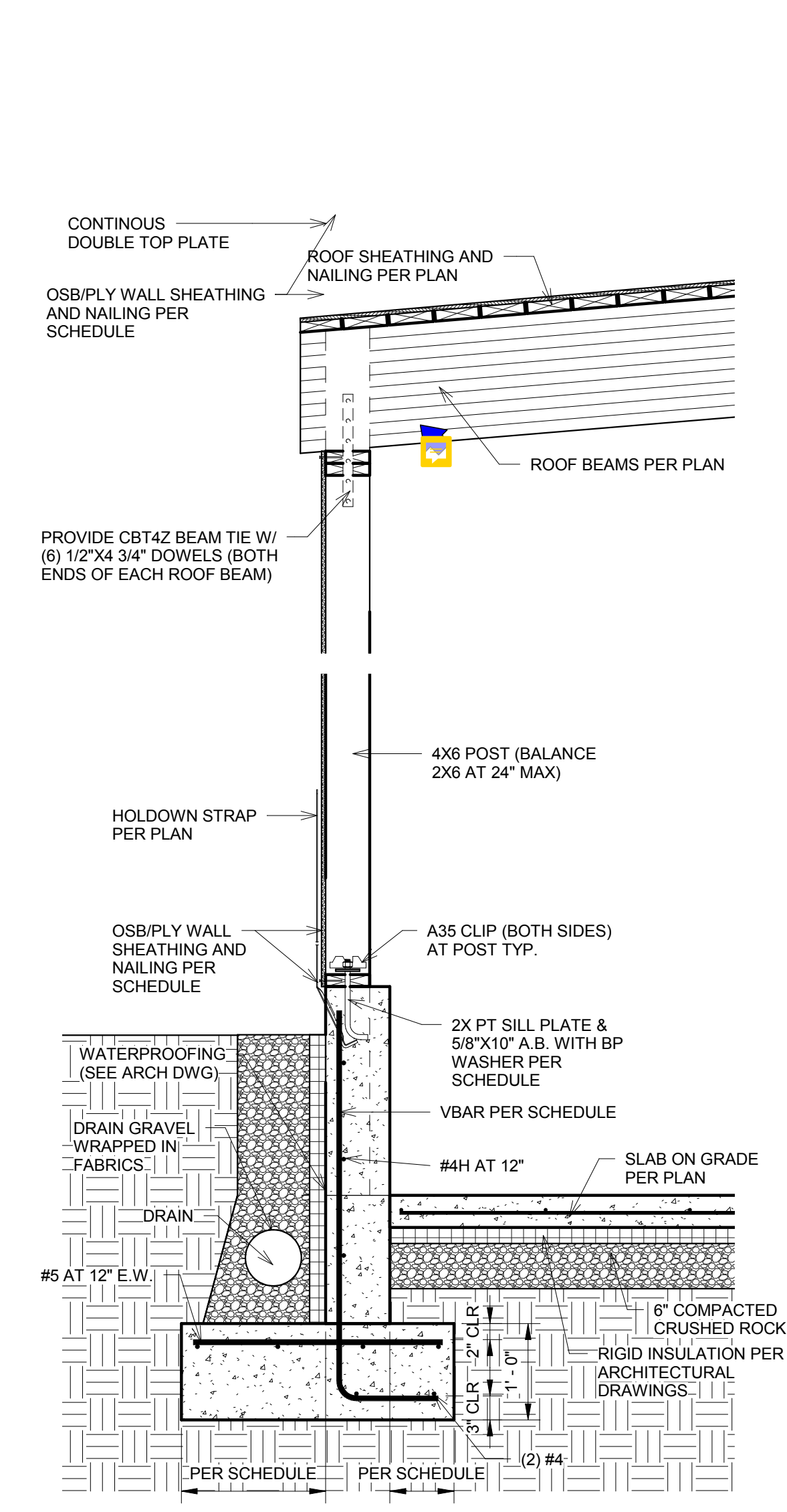
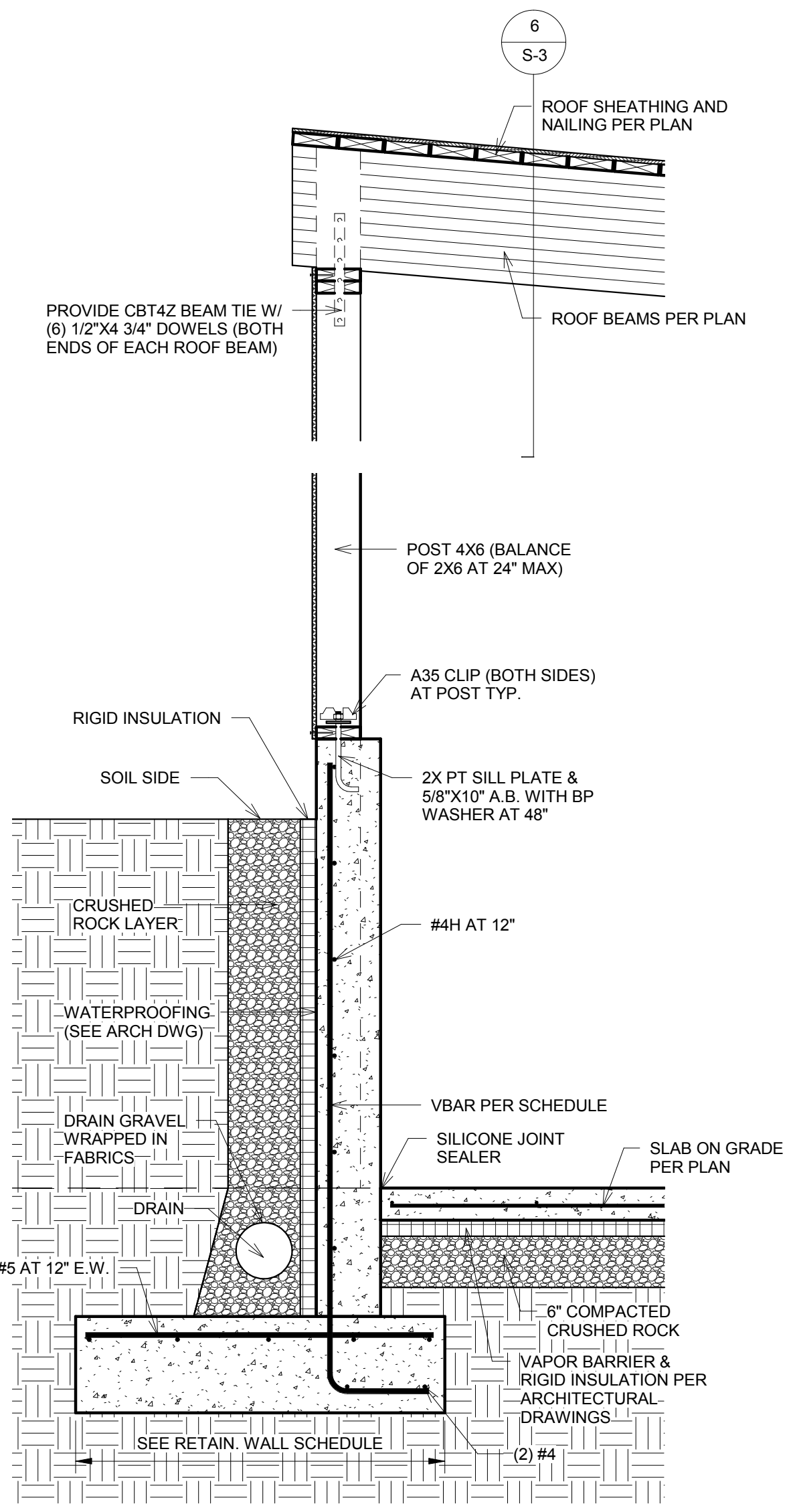
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FRAMING DETAILS

S-3

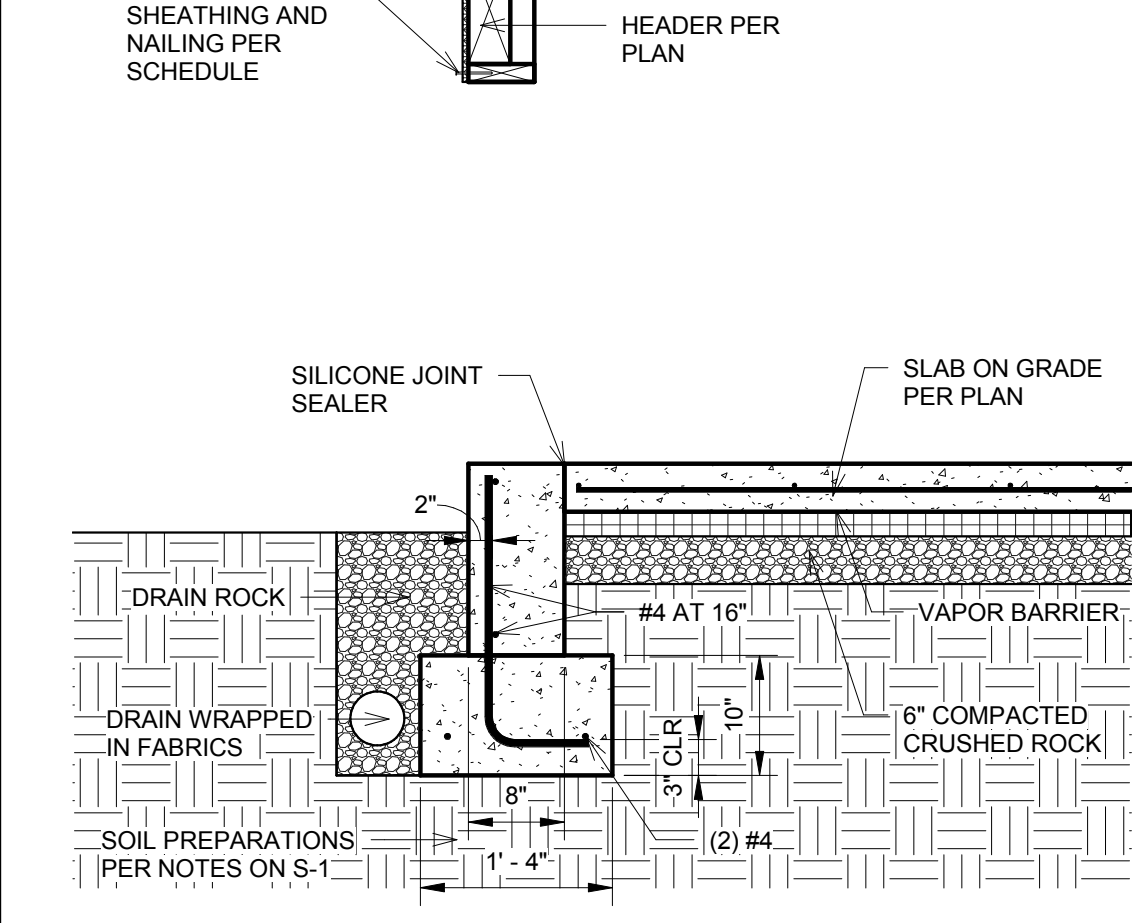
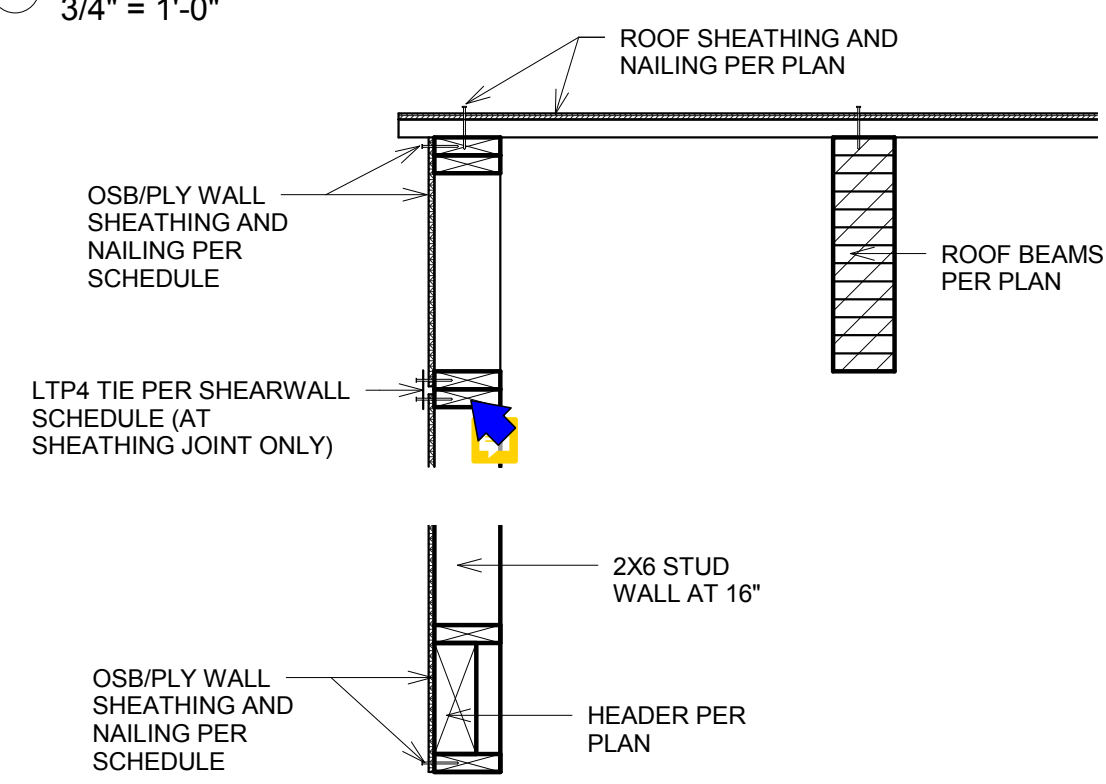


1 Detail 1
3/4" = 1'-0"

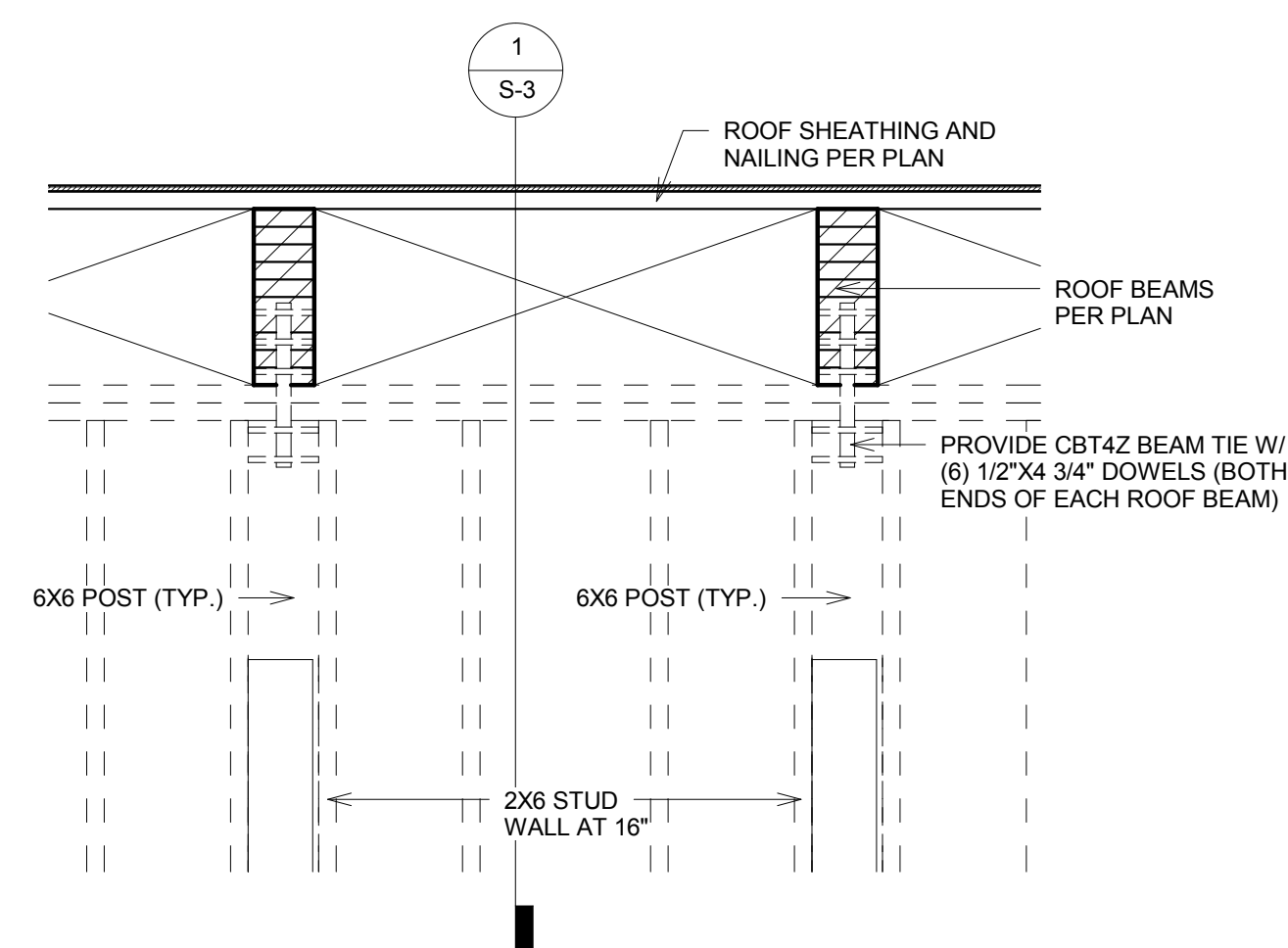
2 Detail 2
3/4" = 1'-0"

3 Detail 3
3/4" = 1'-0"

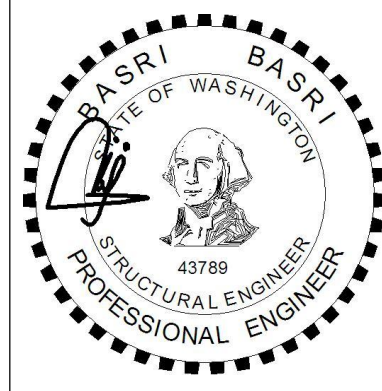
4 Detail 4
3/4" = 1'-0"



5 Detail 5
3/4" = 1'-0"



6 Detail 6
3/4" = 1'-0"



BELADY GARAGE

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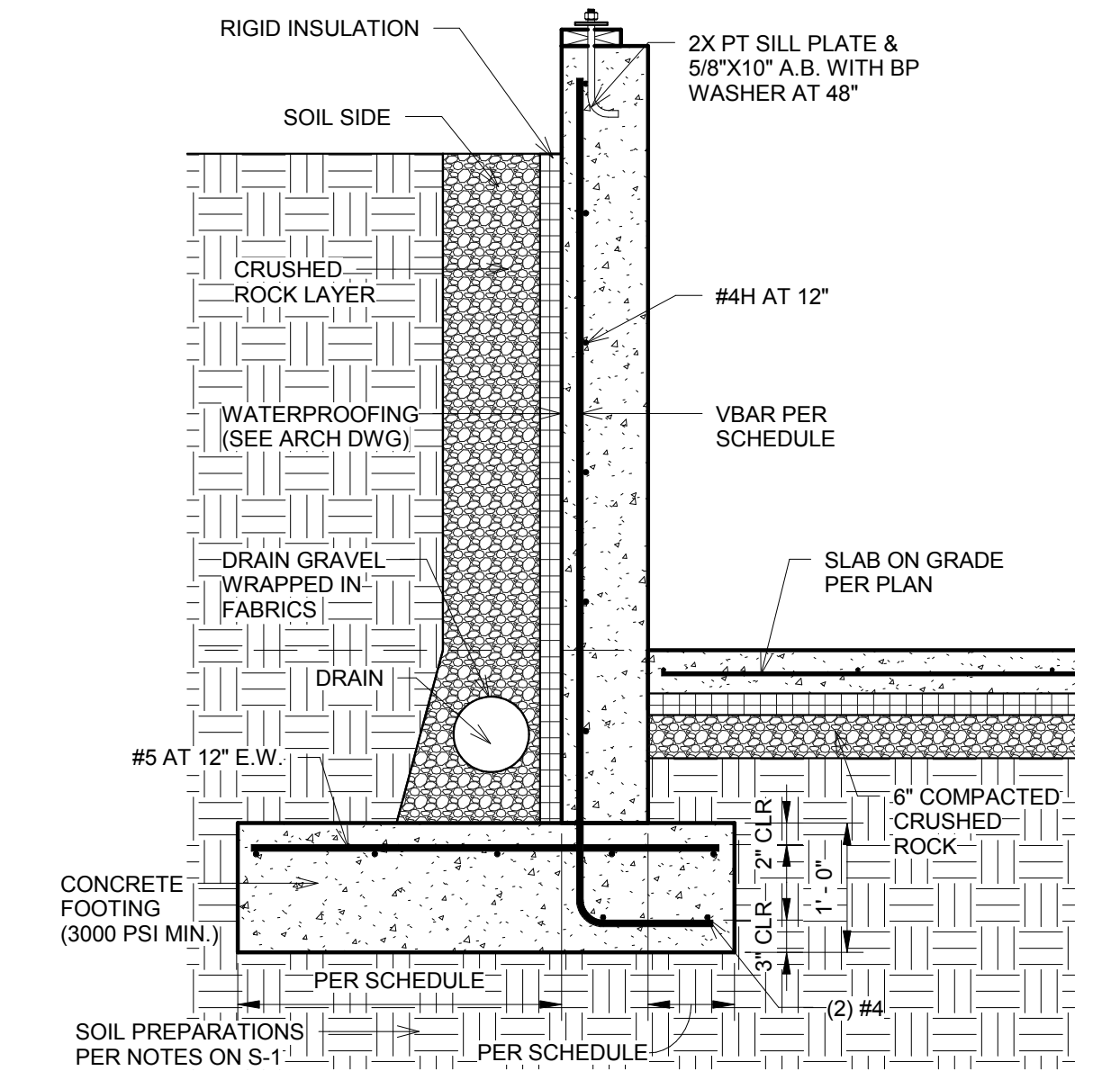
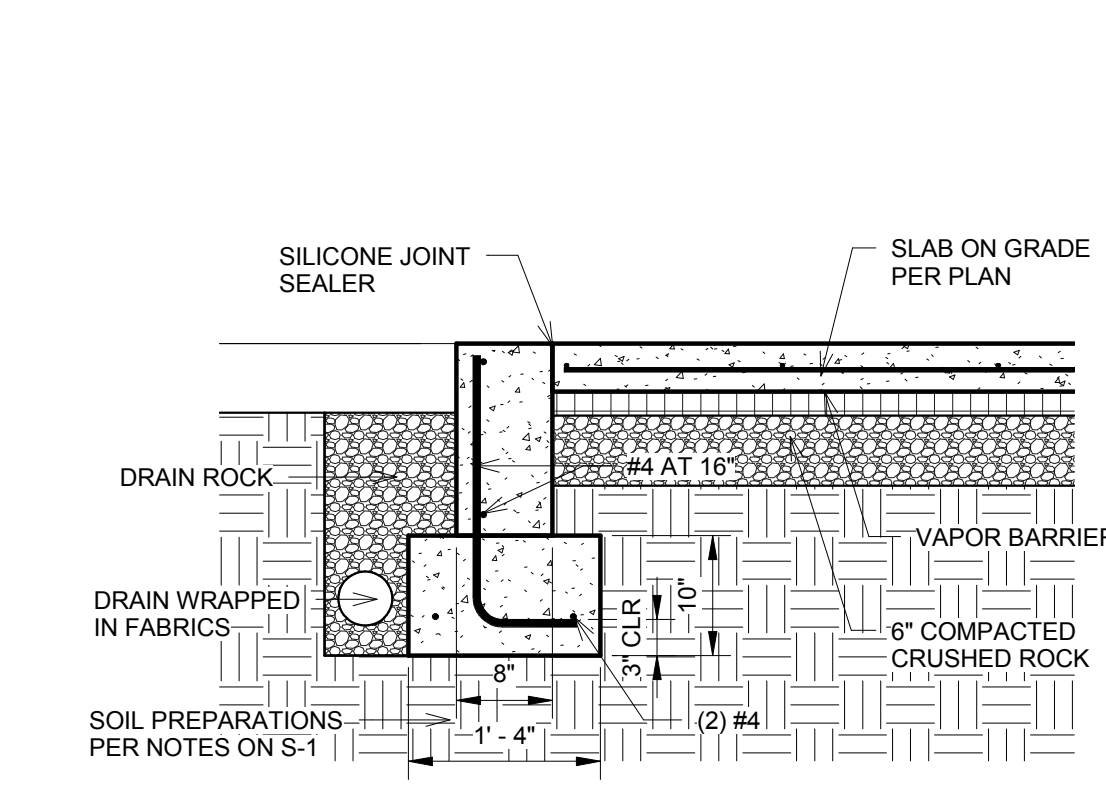
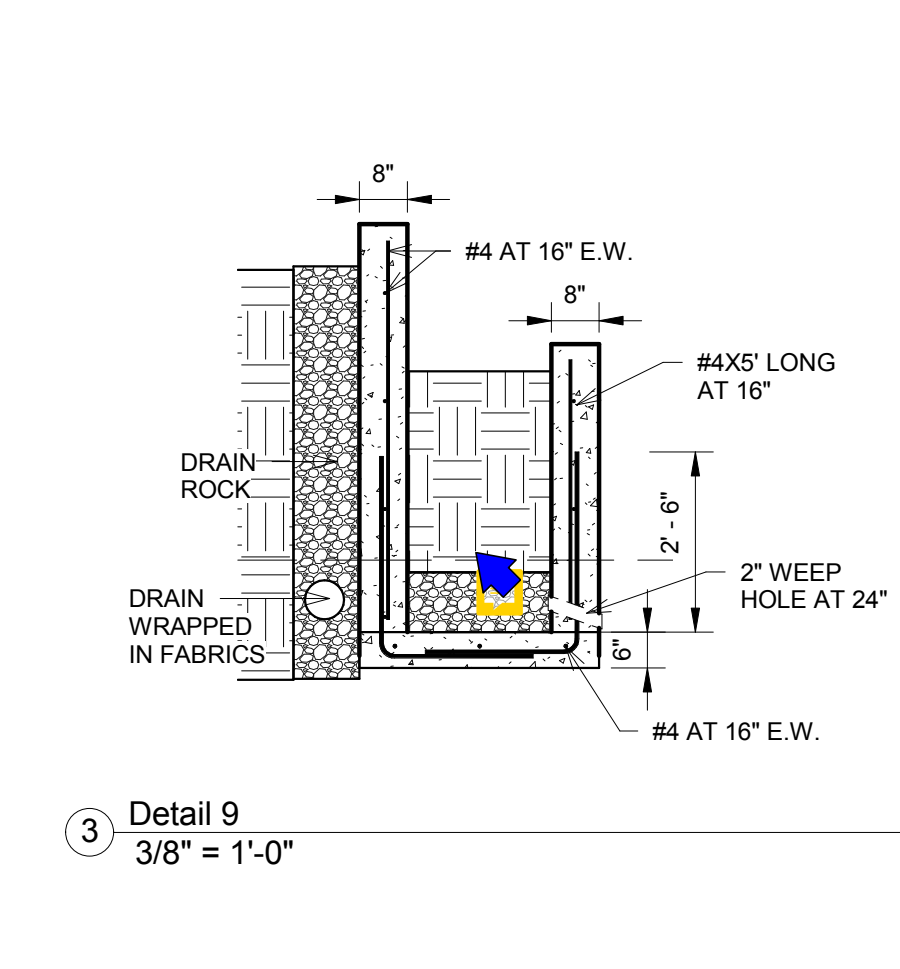
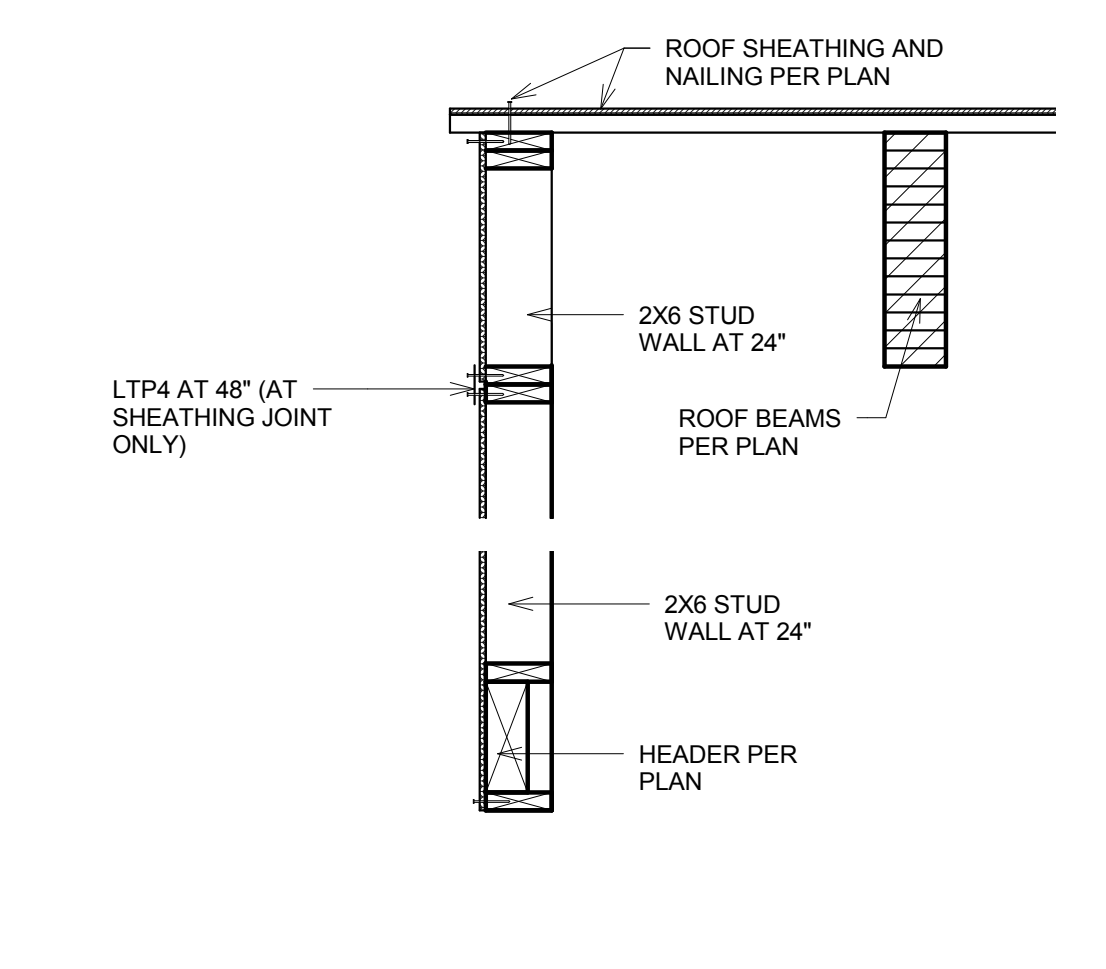
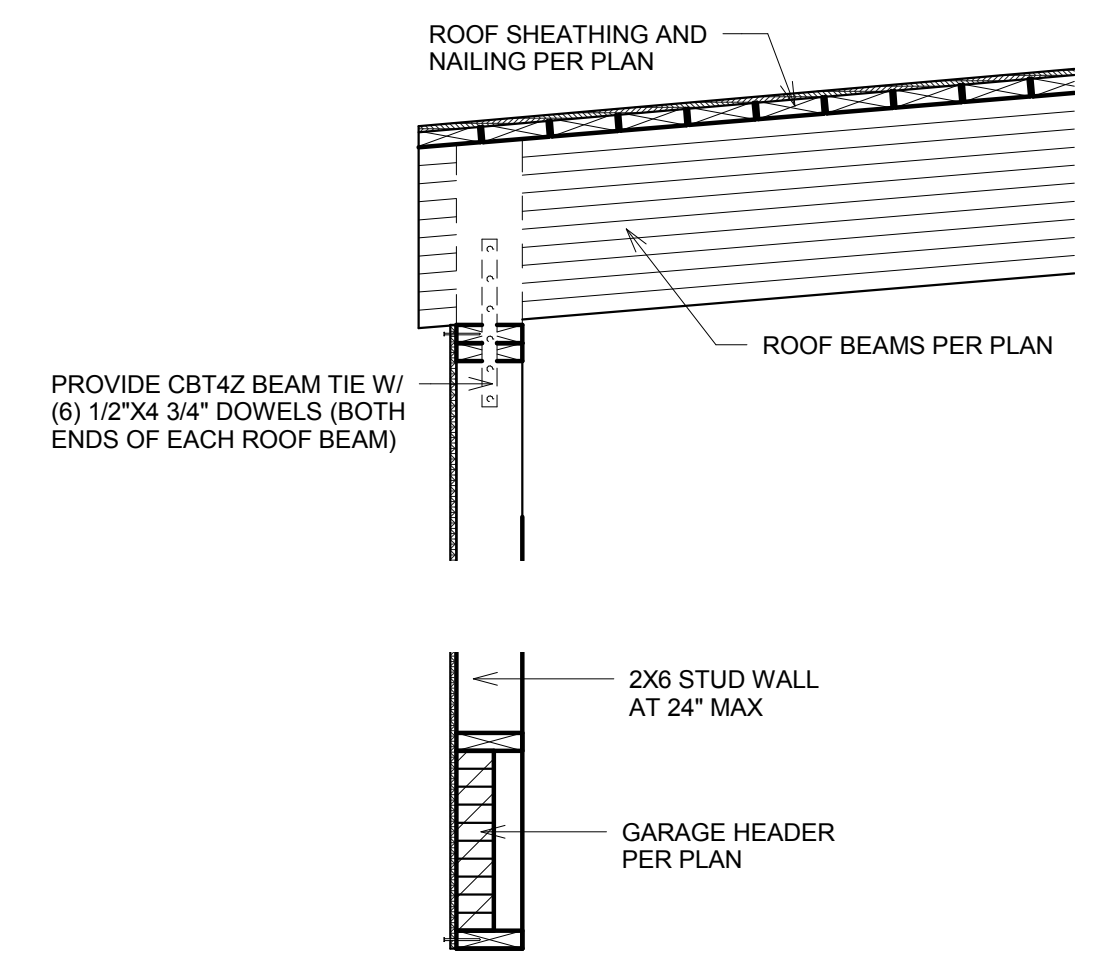
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FRAMING DETAILS

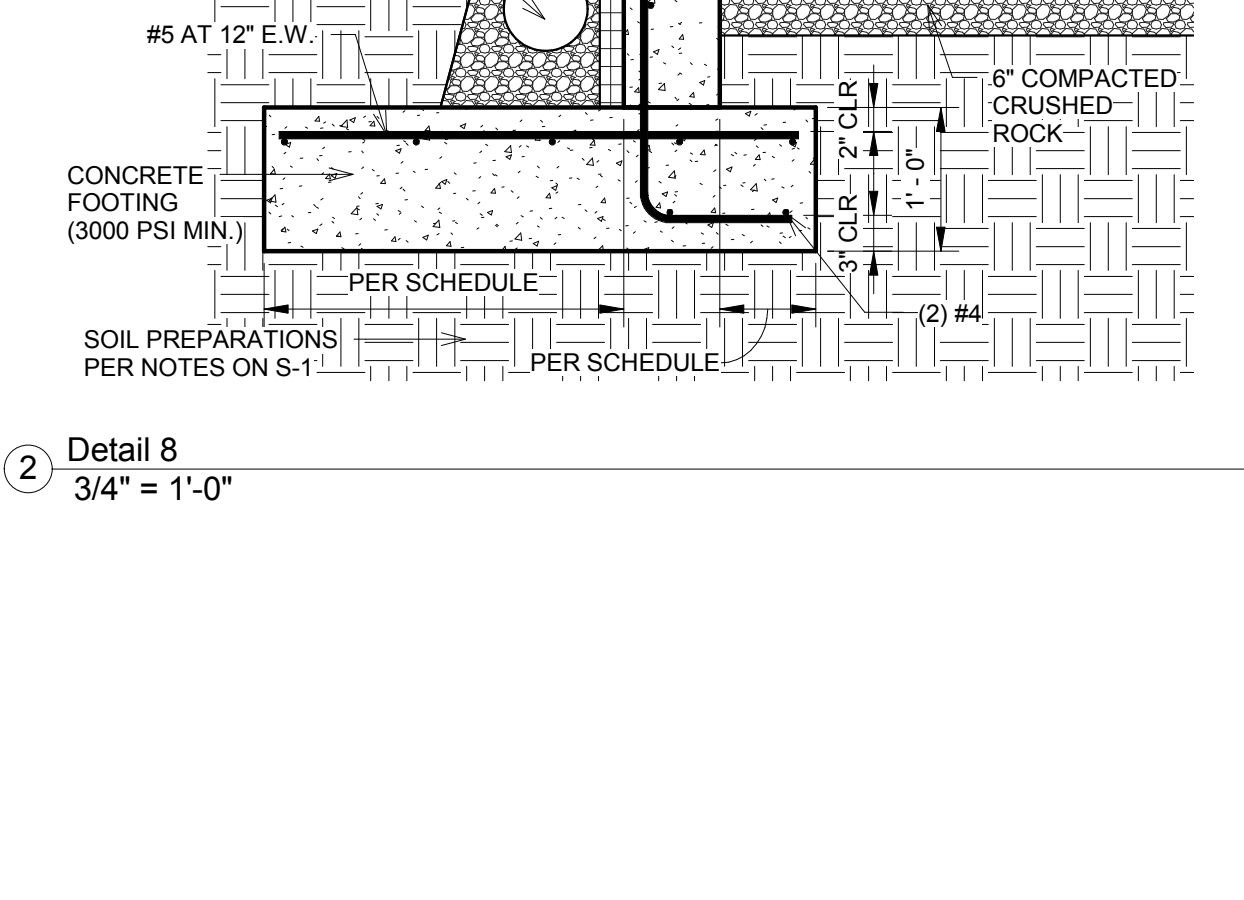
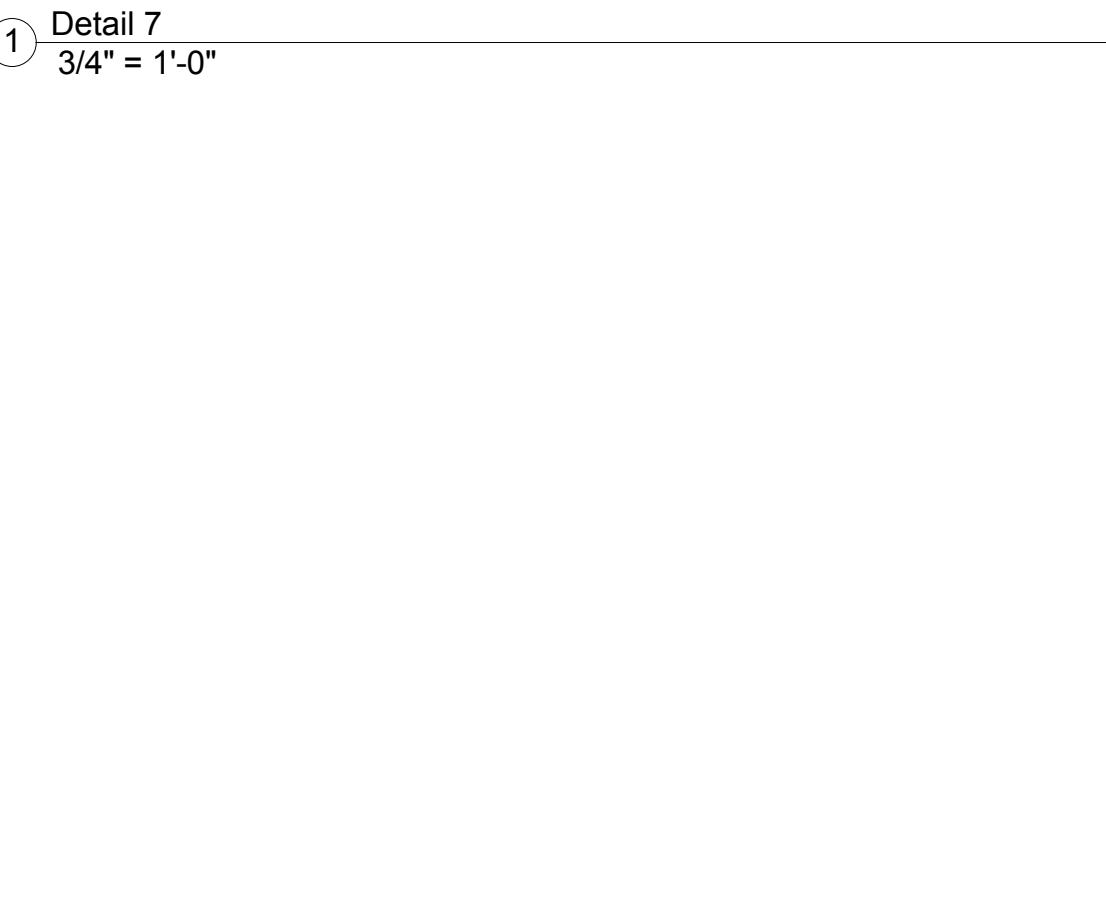
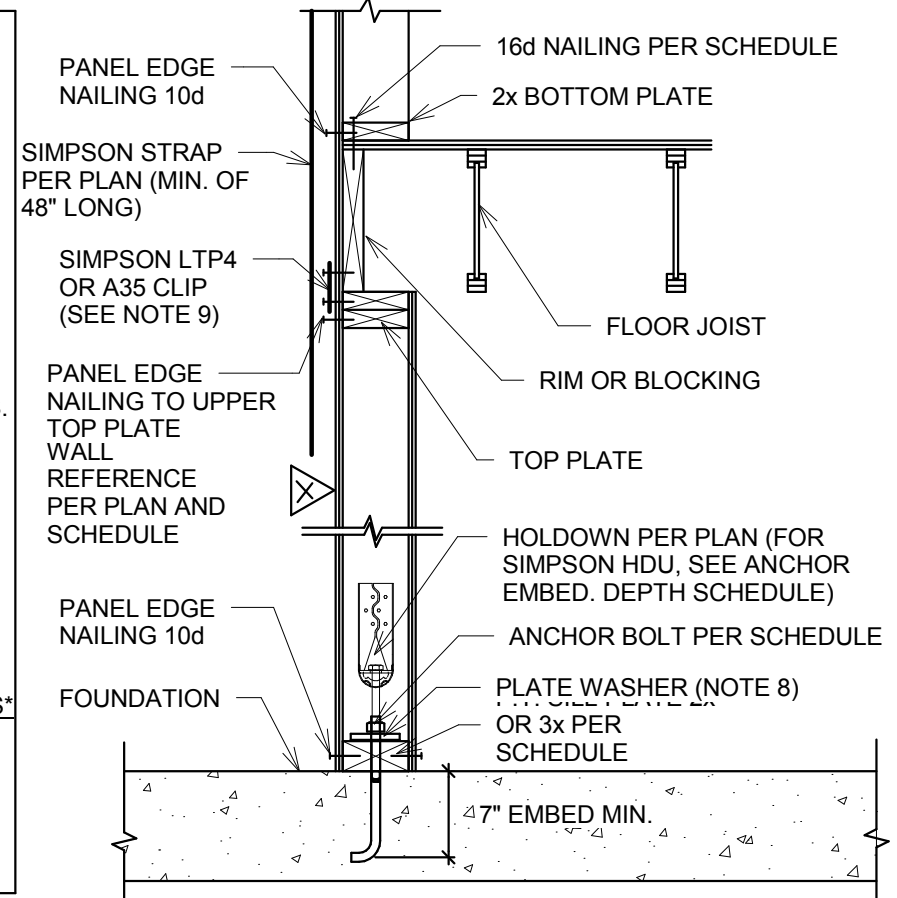


| TYPE | PLYWOOD OR OSB SHEATHING (NOTE 7) | PANEL EDGE NAILING (NOTE 4) | PANEL EDGE AND BLKG | ANCHOR BOLTS AT SILL PLATE (NOTE 8) | TOP/SILL PLATE TO BLOCKING/ RIM (NOTE 9) | BOTTOM PLATE TO BLOCKING/ RIM (NOTE 4) | CAPACITY (LRFD) (SEISMIC/WIND) |
|------|-----------------------------------|-----------------------------|---------------------|-------------------------------------|--|--|--------------------------------|
| SW6 | 15/32" PLY/OSB ONE SIDE | 10d COM AT 6" | 2x | 5/8" AT 36" O.C.-2x | SIMPSON LTP4 AT 24" O.C. | 16d COM AT 6" O.C.-NARROW | 496 PLF/ 696 PLF |
| SW4 | 15/32" PLY/OSB ONE SIDE | 10d COM AT 4" | 2x (SEE NOTE 5) | 5/8" AT 24" O.C.-2x | SIMPSON LTP4 AT 16" O.C. | 16d COM AT 4" O.C.-NARROW | 736 PLF/ 1032 PLF |
| SW3 | 15/32" PLY/OSB ONE SIDE | 10d COM AT 3" | 3x | 5/8" AT 18" O.C.-2x | SIMPSON LTP4 AT 12" O.C. | 16d COM AT 3" O.C.-WIDE | 960 PLF/ 1344 PLF |
| SW2 | 15/32" PLY/OSB ONE SIDE | 10d COM AT 2" | 3x | 5/8" AT 12" O.C.-2x | SIMPSON LTP4 AT 8" O.C. | 16d COM AT 2" O.C.-WIDE | 1232 PLF/ 1724 PLF |
| SW44 | 15/32" PLY/OSB TWO SIDES | 10d COM AT 4" | 2x | 5/8" AT 18" O.C.-3x | SIMPSON LTP4 AT 16" O.C. B.S. | (2) 16d COM AT 4" O.C.-WIDE | 1472 PLF/ 2064 PLF |
| SW33 | 15/32" PLY/OSB TWO SIDES | 10d COM AT 3" | 3x | 5/8" AT 16" O.C.-3x | SIMPSON LTP4 AT 12" O.C. B.S. | (2) 16d COM AT 3" O.C.-WIDE | 1920 PLF/ 2688 PLF |
| SW22 | 15/32" PLY/OSB TWO SIDES | 10d COM AT 2" | 3x | 5/8" AT 12" O.C.-3x | SIMPSON LTP4 AT 8" O.C. B.S. | (2) 16d COM AT 2" O.C.-WIDE | 2464 PLF/ 3448 PLF |

SHEARWALL SCHEDULE NOTES:

- ALL PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING AT WALLS
- NAIL SHEATHING TO INTERMEDIATE SUPPORTS/ FIELD NAILING 10d AT 12" O.C.
- ALL NAILS INTO 3x MEMBERS SHALL BE STAGGERED.
(2)2x STUDS MAY BE USED IN LIEU OF 3x STUDS AT PANEL JOINTS.
NAIL STUDS TOGETHER W/2 ROWS 16d COMMON AT 8" O.C. AT SINGLE SIDE SHEATHING AND NAIL WITH 2 ROWS OF 16d COMMON AT 3" O.C. AT DOUBLE SHEATHED WALLS.
- COM DENOTES COMMON NAILS. MIN. NAIL PENETRATION INTO PLATE, RIM OR BLOCKING SHALL BE 1 5/8". STAGGER BOTTOM PLATE NAILING
- FOR SHEARWALL SW4, ALL FRAMING MEMBERS RECEIVING EDGE NAILINGS FROM ABUTTING PANELS SHALL BE 3X OR (2) 2X NAILED TOGETHER WITH 16d AT 6"
- WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, OFFSET PANEL EDGES TO FALL ON DIFFERENT STUDS.
- PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLAN. PROVIDE HOLD-DOWNS PER PLAN AT EACH END OF WALL, UNO.
PROVIDE (2) 2X STUDS AT ENDS OF ALL SHEARWALL. FACE NAIL MULTIPLE STUDS WITH 16d AT 12" PROVIDE PANEL EDGE NAILING IN EACH HOLD-DOWN STUD AT END OF WALL.
- ALL FOUNDATION SILL PLATES SHALL BE PT MEMBERS AND THE ANCHOR BOLTS SHALL HAVE MIN. OF 7" EMBEDMENT WITH 1/4" x 3" x 3" PLATE WASHER OR SIMPSON'S BP/ BPS PLATE.
END OF WALL ANCHOR BOLTS SHALL BE LOCATED MAX 12" AND MIN 5" FROM END OF THE PLATE.
- WHERE NOTED IN DETAILS, USE SIMPSON A35 IN LIEU OF LTP4 PLATES SPACE AT 2/3 OF LTP4 SPACING.

| SIMPSON HOLD-DOWN | SIMPSON ANCHOR BOLTS* | SIMPSON EPOXY ALL THREAD ANCHORS* |
|-------------------|---|---|
| HDU2 | SSTB16 (5/8" ANCHOR WITH 12 5/8" MIN. EMBED.) | 5/8" (12" EMBED WITH SET-XP) |
| HDU4 | SB 5/8X 24 (5/8" ANCHOR WITH 18" MIN. EMBED.) | 5/8" (14" EMBED WITH SET-XP) |
| HDU5 | SB 5/8X 24 (5/8" ANCHOR WITH 18" MIN. EMBED.) | 5/8" (16" EMBED WITH SET-XP) |
| HDU8 | SB 7/8X 24 (7/8" ANCHOR WITH 18" MIN. EMBED.) | |
| HDU11 | SB 1X 30 (1" ANCHOR WITH 24" MIN. EMBED.) | |
| HDU14 | SB 1X 30 (1" ANCHOR WITH 24" MIN. EMBED.) | * ALL ANCHORS SHALL BE 2.5" MIN. FROM EDGE OF CONCRETE WALL |



| HW | W1 | W2 | VBAR | CBAR |
|-----|-----|------|-----------|-----------------|
| 4' | 8" | 16" | #4 AT 12" | #4X3'X3' AT 12" |
| 6' | 8" | 16" | #4 AT 12" | #5X4'X4' AT 12" |
| 8' | 12" | 3'6" | #5 AT 12" | #5X6'X6' AT 12" |
| 10' | 18" | 4'8" | #5 AT 6" | #5X8'X8' AT 6" |

IMPORTANT NOTES:

- BACKFILL THE WALLS PRIOR TO FRAMING THE FLOOR ABOVE
- THE WALLS ARE NOT DESIGNED FOR WATER PRESSURE. IF RUNNING WATER IS ENCOUNTERED DURING EXCAVATION, PLEASE NOTIFY THE STRUCTURAL ENGINEER.
- THE WALL CONCRETE STRENGTH SHALL BE MIN. 2500 PSI.
- THE FOOTING CONCRETE STRENGTH SHALL BE MIN. 2500 PSI
- DO NOT HESITATE TO CALL THE STRUCTURAL ENGINEER AT 425-296-2993 FOR ANY QUESTIONS

